

AGENDA SUPPLEMENT (2)

Meeting: Western Area Planning Committee

Place: Online

Date: Wednesday 22 July 2020

Time: 3.00 pm

The Agenda for the above meeting was published on 14 July 2020. Additional documents are now available and are attached to this Agenda Supplement.

Please direct any enquiries on this Agenda to Jessica Croman, of Democratic Services, County Hall, Bythesea Road, Trowbridge, direct line 01225 718262 or email jessica.croman@wiltshire.gov.uk

Press enquiries to Communications on direct lines (01225)713114/713115.

This Agenda and all the documents referred to within it are available on the Council's website at www.wiltshire.gov.uk

7 **Planning Applications (Pages 3 - 82)**

The committee presentation for the meeting is attached

DATE OF PUBLICATION: 22 July 2020

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Western Area Planning Committee

22nd July 2020

7a) 19/09800/FUL - 12A Frome Road, Bradford On Avon, Wiltshire, BA15 1LE

Demolition of the existing dwelling and outbuilding and replacement with 5 residential dwellings as well as alterations to the existing boundary wall to accommodate a widened vehicular access.

Recommendation: Approve with Conditions



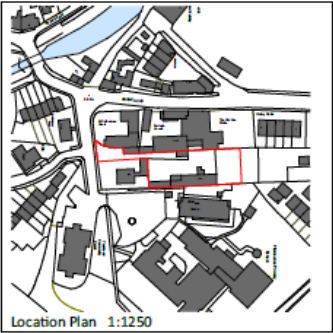
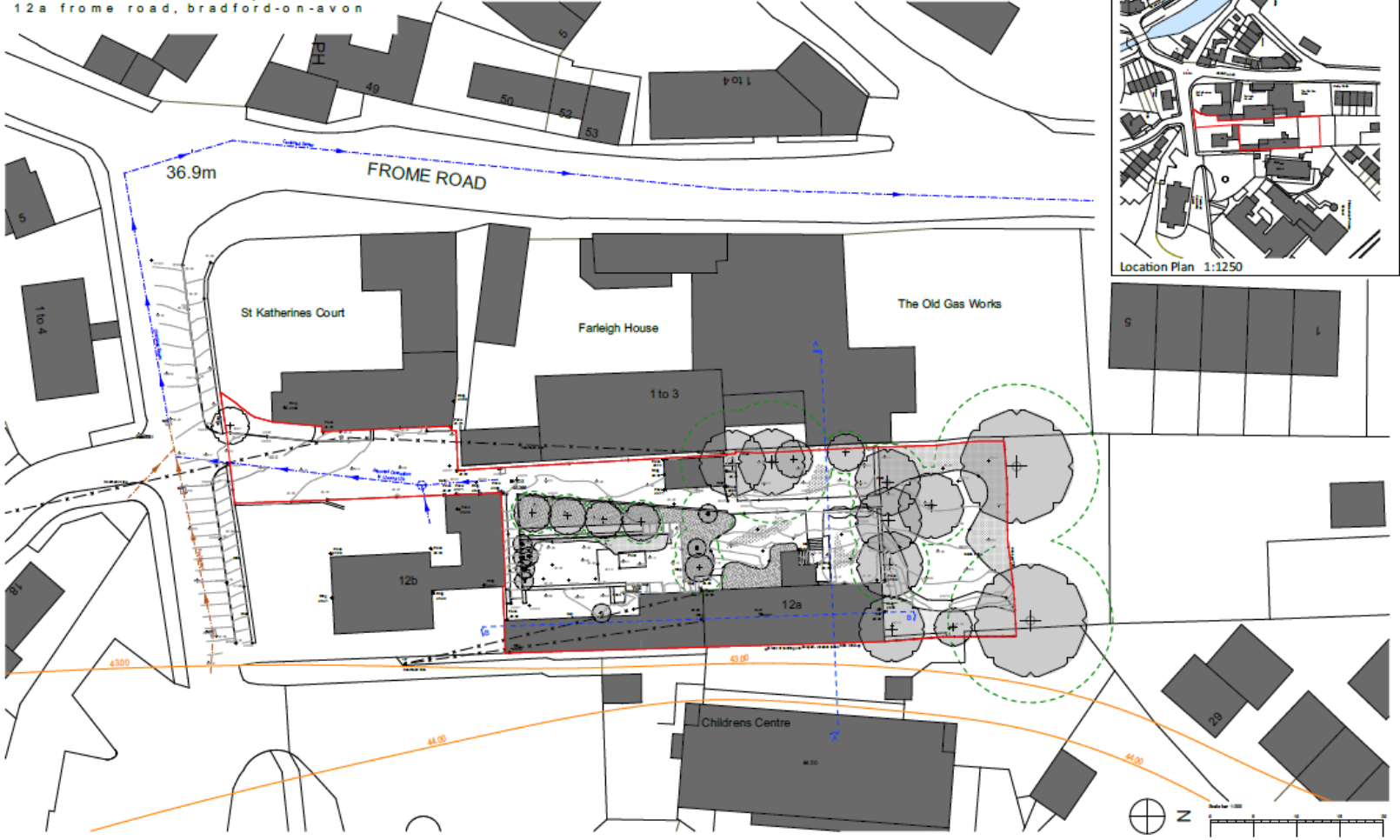
Site Location Plan



Aerial Photography

Existing Site Plan

new residential development
12a frome road, bradford-on-avon



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coombes : evertt architects limited
105-107 Bath Road
Cheltenham
Gloucestershire
GL53 7LE
T: 01242 807727 F: 0945 5575 833
e: info@ce-architects.co.uk
www.ce-architects.co.uk

- Preliminary
- Feasibility
- Planning
- Building Regulations
- Tender
- Construction Issue
- As Built

RIBA
REGISTERED ARCHITECTS

Drawing No: Existing Block and Site Location Plans
Client: Avonvale Developments
Drawn by: JS Checked: TC
Project No: 19.20.006

Project: 12a Frome Road, Bradford-on-Avon
Scale: 1:1250 & 1:300 @ A1
Date: August 2019
Project / Drawing No: PL001

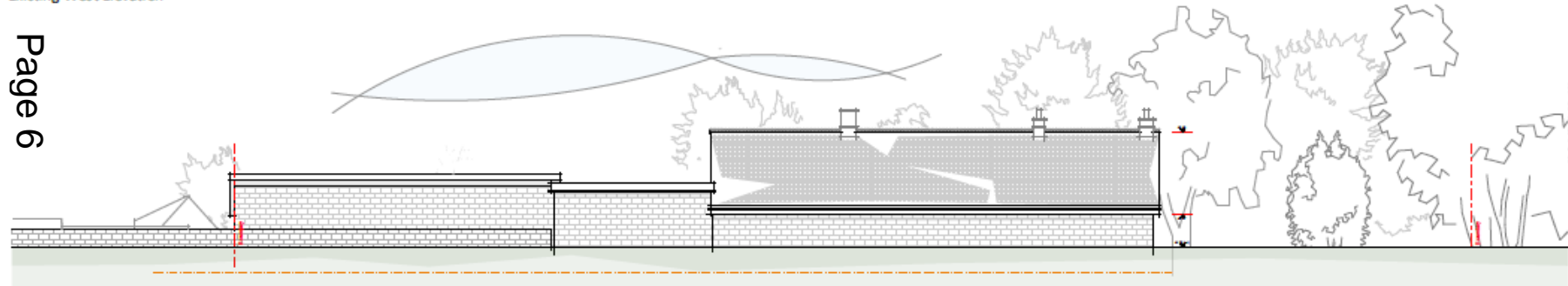
Existing elevations

new residential development
12a frome road, bradford-on-avon

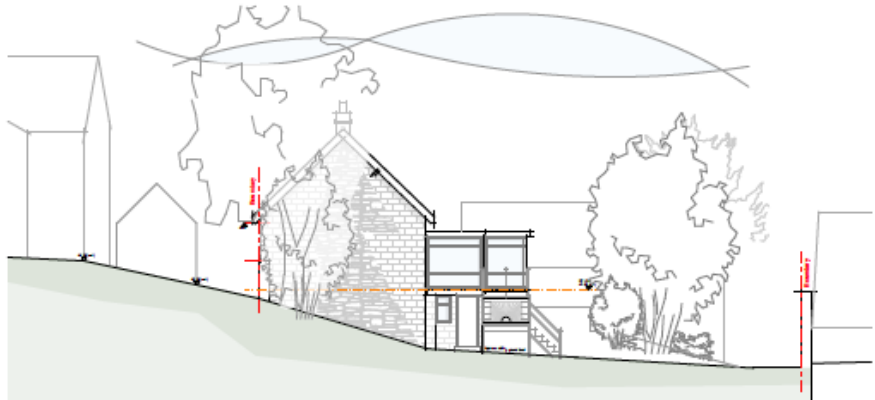


Existing West Elevation

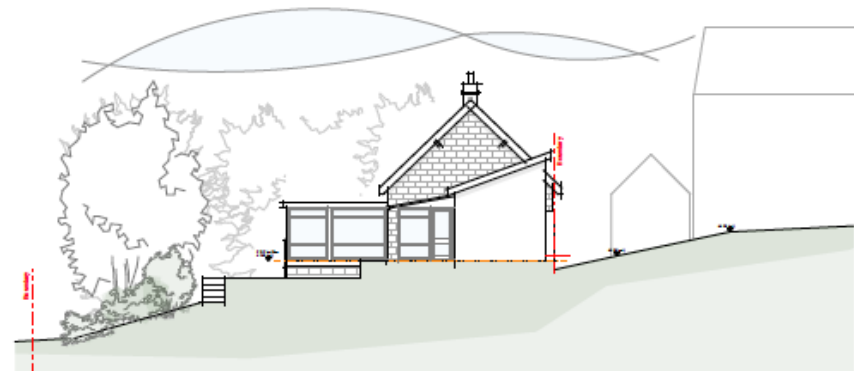
Page 6



Existing East Elevation



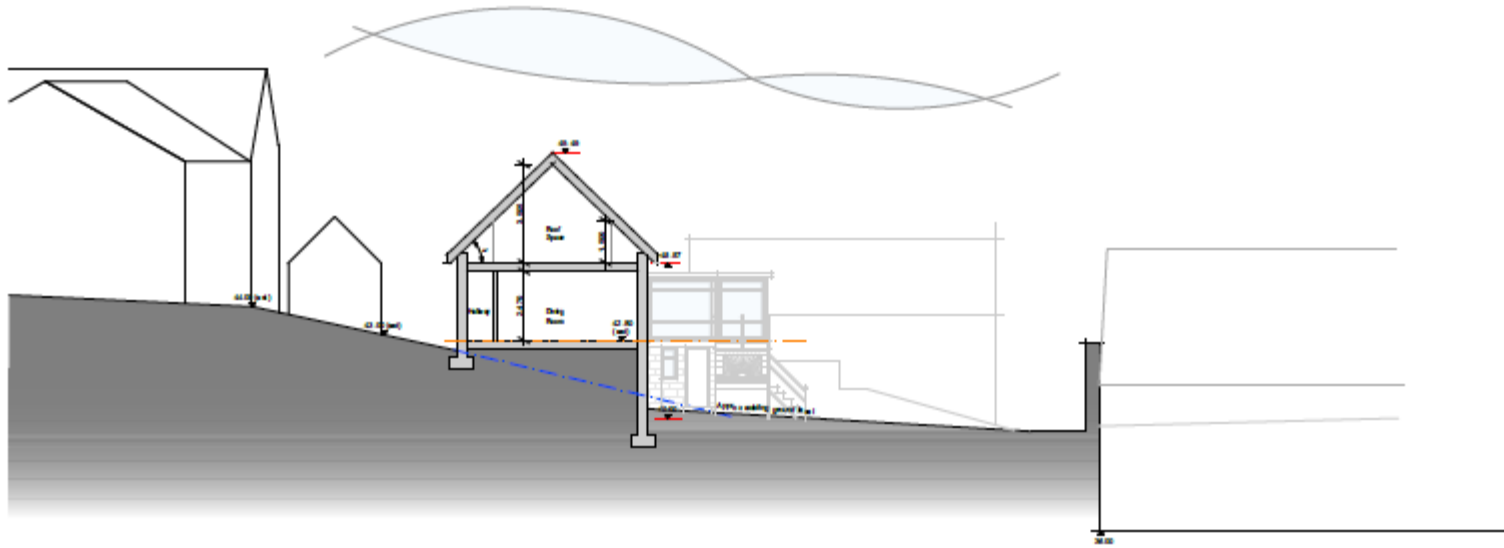
Existing North Elevation



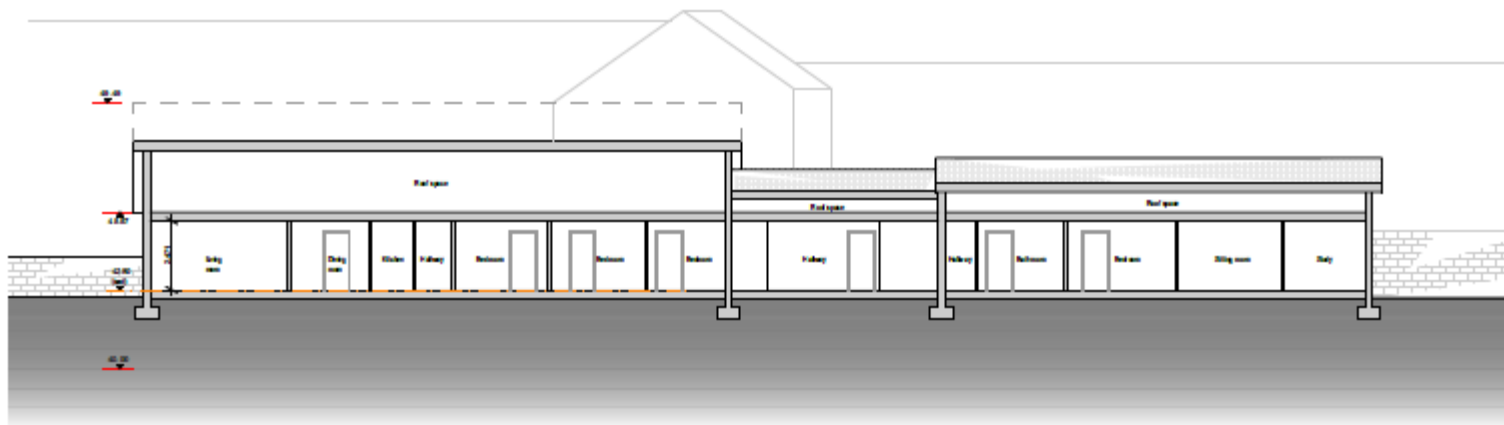
Existing South Elevation

Existing site section

Page 8



Existing Section A-A



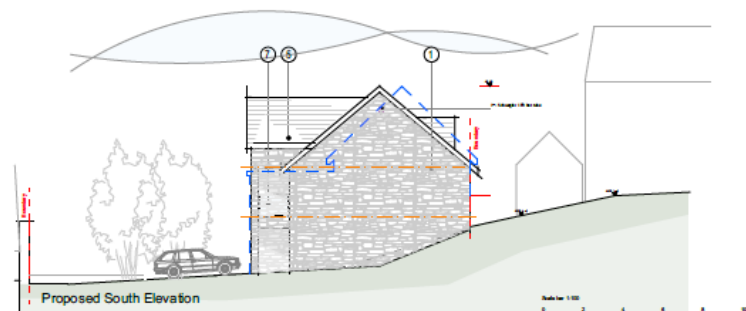
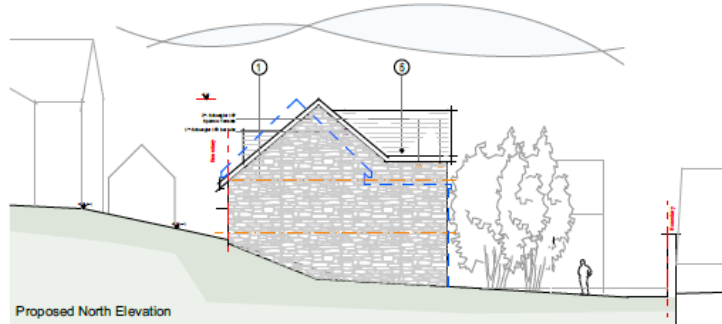
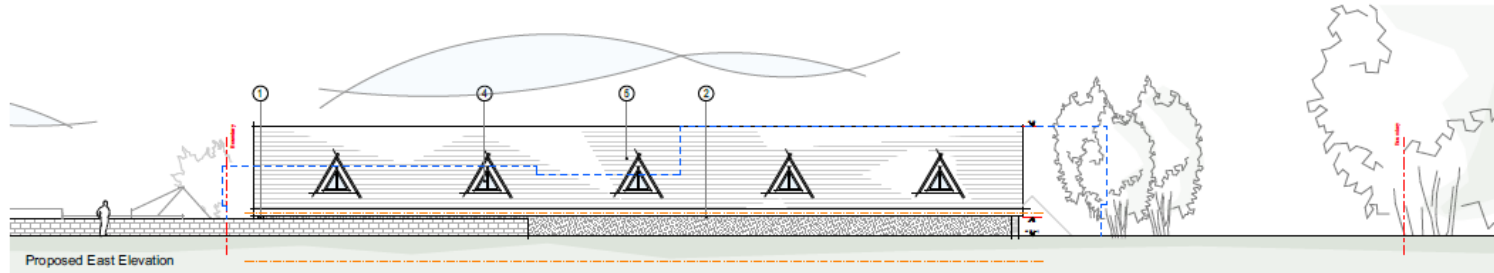
Existing Section B-B

Proposed site plan showing dwellings, shared open space & turning head



Proposed elevations

new residential development
12a frome road, bradford-on-avon



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<p>coombes : everitt architects limited 105-107 Bath Road Chiltenham Gloucestershire GL53 7LE t: 01242 807727 f: 0845 3575833 e: info@coombes-architects.co.uk www.coombes-architects.co.uk</p>	<ul style="list-style-type: none"> <input type="checkbox"/> Preliminary <input type="checkbox"/> Feasibility <input checked="" type="checkbox"/> Planning <input type="checkbox"/> Building Regulations <input type="checkbox"/> Tender <input type="checkbox"/> Construction Issue <input type="checkbox"/> As Built 	<p>1. The drawing and contents are copyright of the author. No part of this drawing is to be used or reproduced without the author's consent. 2. This drawing is a copy of the original and is not to be used for any other purpose. 3. The author is not responsible for any errors or omissions in this drawing. 4. The author is not responsible for any errors or omissions in this drawing. 5. The author is not responsible for any errors or omissions in this drawing.</p> <p>RIBA REGISTERED ARCHITECT</p>	<p>REV A - E - 10.09.2019 revised elevation, finish to flooring REV B - E - 16.05.2019 bat and bird boxes added</p>	<p>Drawing Title: Proposed Elevations Client: Avonvale Developments Drawn by: JS Checked: TC Project No: 19.20.006</p>	<p>Project: 12a Frome Road, Bradford-on-Avon Scale: 1:100 @A1 Date: August 2019 Project / Drawing No: PLO12 B coombes : everitt architects</p>
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Blue dotted line shows the height and location of the existing building on site 9

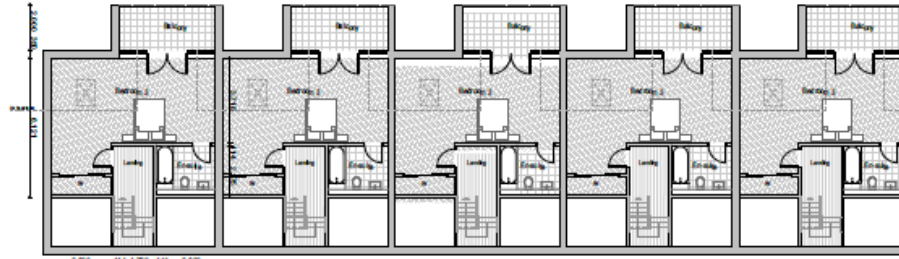
Proposed ground floor plan

Page 12



Proposed first and second floor plans

new residential development
12a frome road, bradford-on-avon

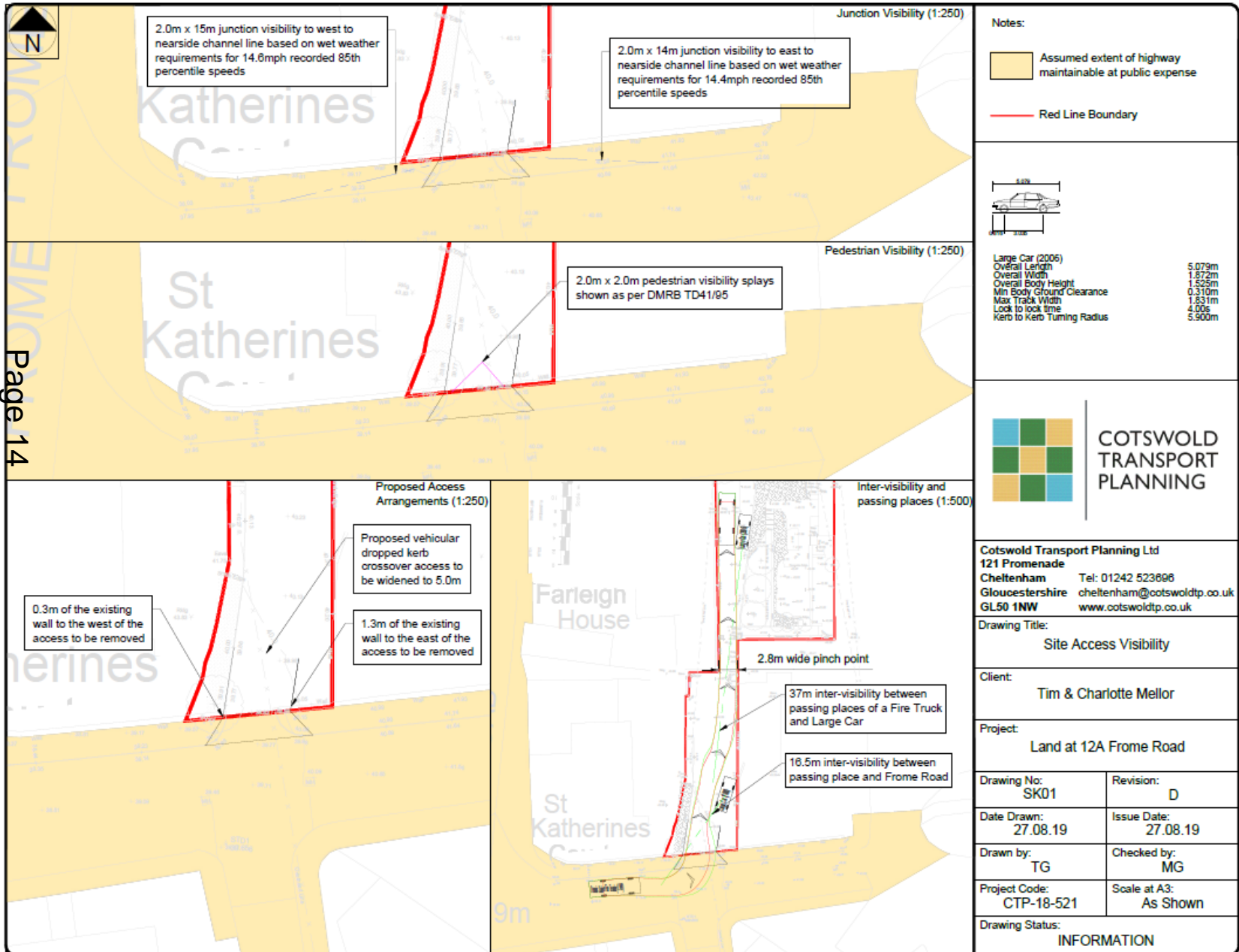


Proposed Second Floor Plan



Proposed First Floor Plan

Proposed access



Cotswold Transport Planning Ltd
 121 Promenade
 Cheltenham Gloucestershire GL50 1NW
 Tel: 01242 523898
 cheltenham@cotswoldtp.co.uk
 www.cotswoldtp.co.uk

Drawing Title:
 Site Access Visibility

Client:
 Tim & Charlotte Mellor

Project:
 Land at 12A Frome Road

Drawing No: SK01 **Revision:** D

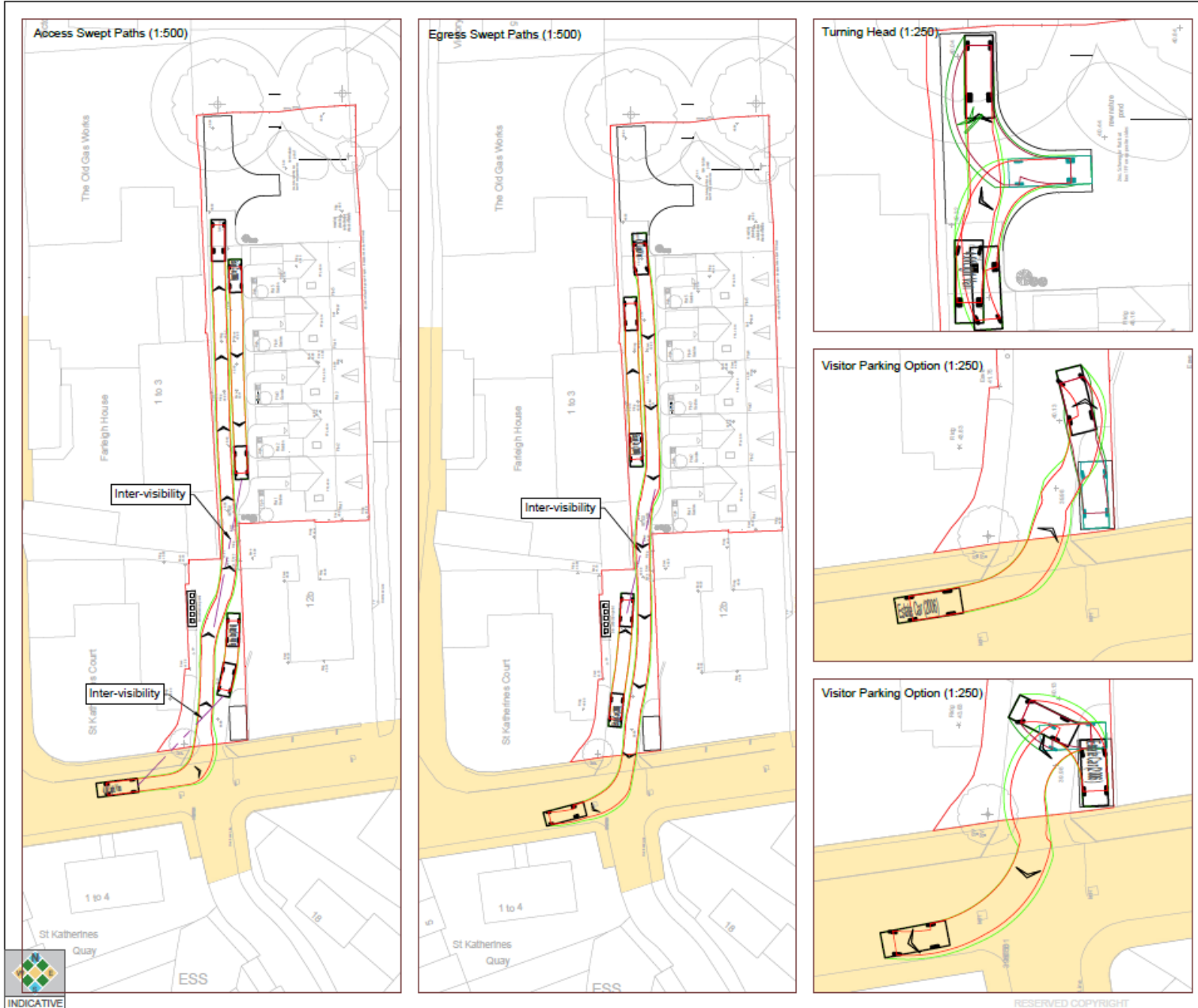
Date Drawn: 27.08.19 **Issue Date:** 27.08.19

Drawn by: TG **Checked by:** MG

Project Code: CTP-18-521 **Scale at A3:** As Shown

Drawing Status:
 INFORMATION

Swept path analysis for site including the visitor space





Left: the B3109 with the junction of Kennet Gardens

Page 16



Right: Kennet Gardens when viewed from B3109

Existing entrance towards the site. Photo shows neighbouring dwelling (12B)



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Page 18

Access to the site adjacent to neighbouring dwelling 12B

Existing dwelling



Page 19

Existing dwelling with school building to the rear

Page 20





End elevation of existing dwelling with school building to the rear



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Existing garden pictures
where area of shared
garden will be located



Right: View from the corner of
the site to the existing modern
buildings that front the B3109



Pedestrian traffic using Kennet Gardens

children leaving school towards
Trowbridge Road.

NB: All photos taken on a Thursday (15:20) prior to the COVID19 lockdown

View from B3109 – you can just see the existing school building with the solar panels to the rear of the picture and the roof line of the existing dwelling



Page 24

Existing modern dwellings that face onto B3109



Page 25



View of the existing dwelling
from the school premises



3D illustrations

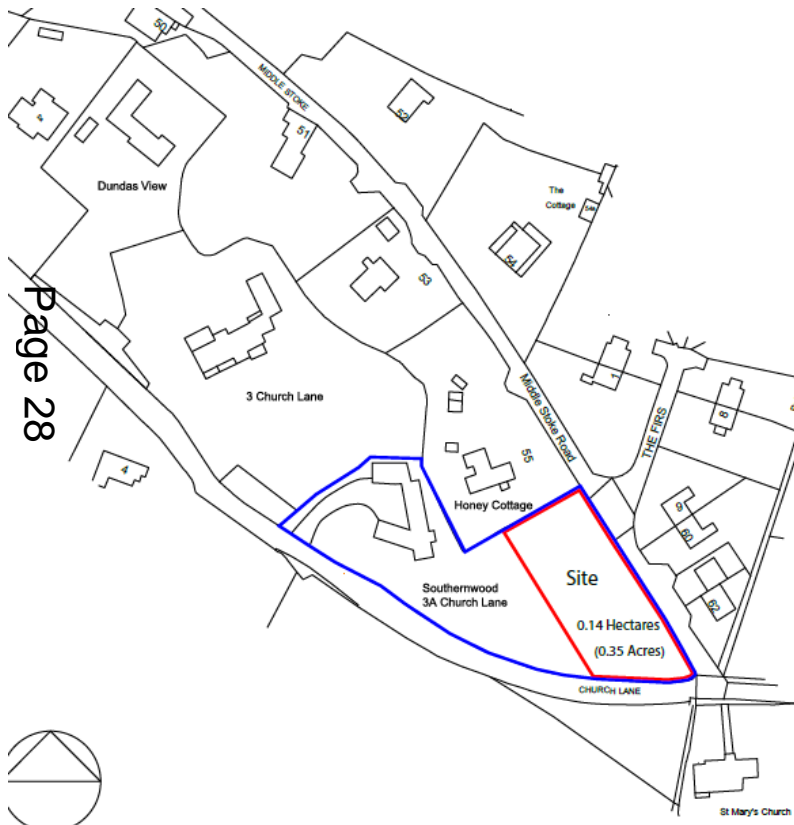
Page 27



7b) 19/10471/FUL – No. 3A Church Lane, Limpley Stoke BA2 7GH

Erection of 2 No. dwellings and associated landscaping and access work (amended design)

Recommendation: Approve with Conditions

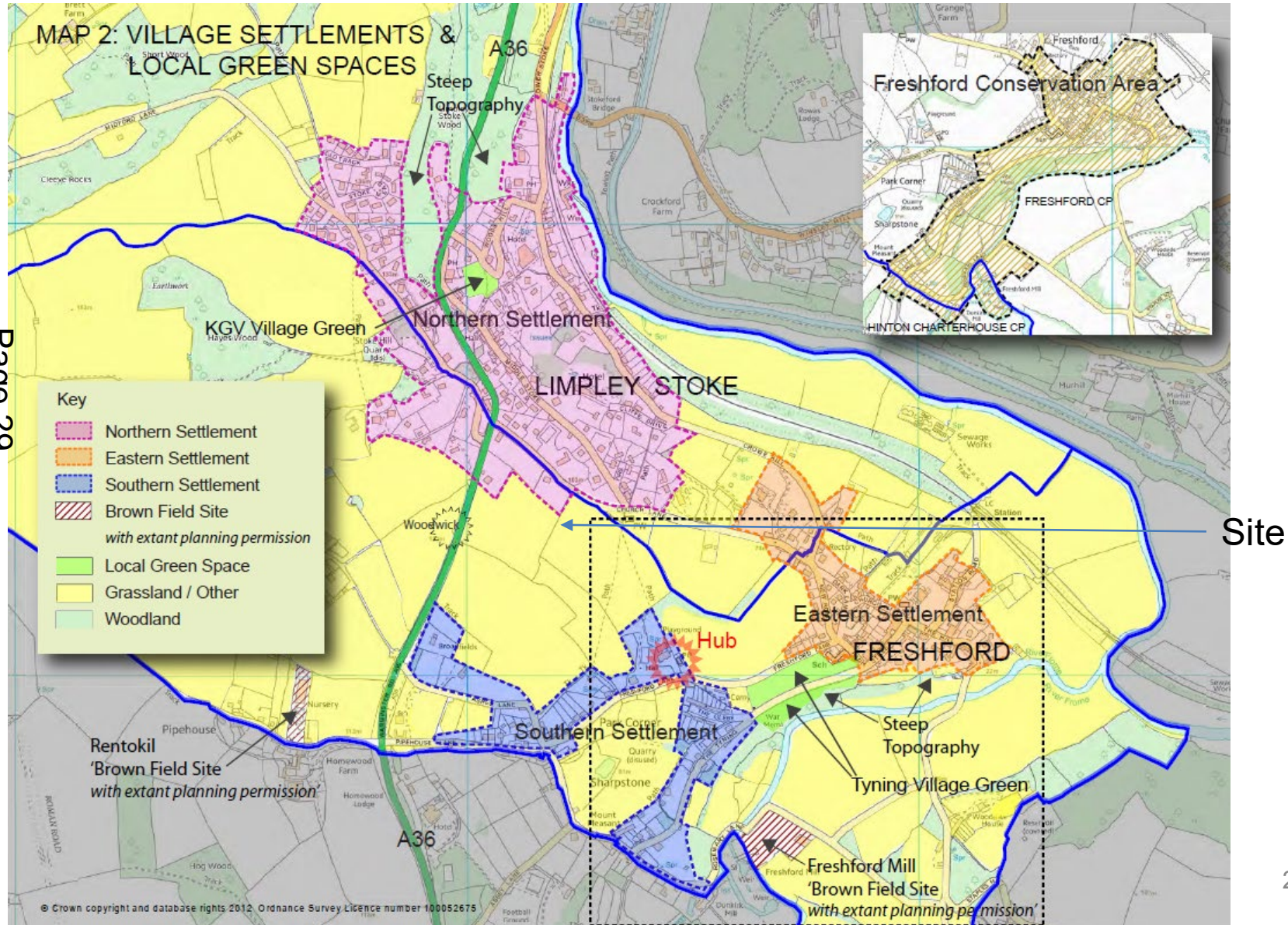


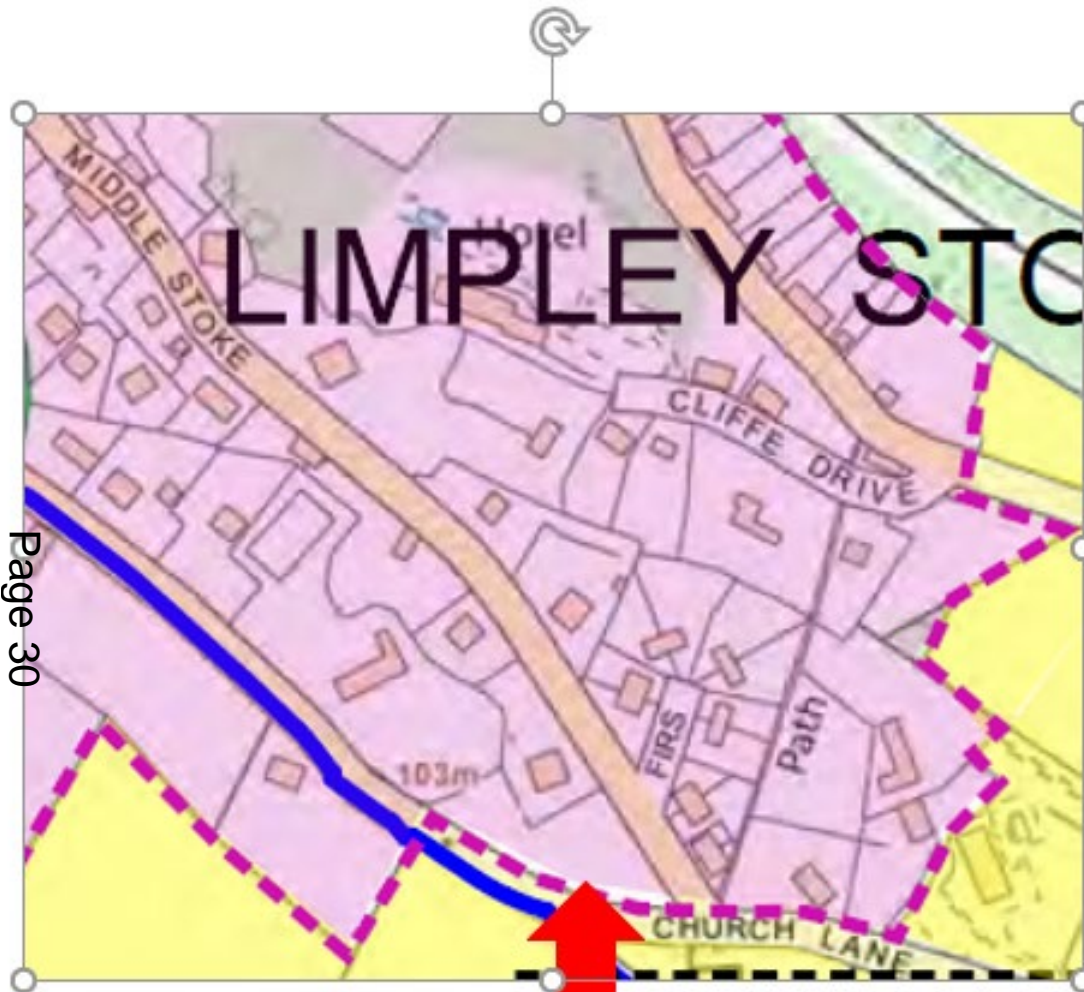
Site Location Plan

Aerial Photography

The Freshford and Limpley Stoke 'made' Neighbourhood Plan - Village Settlement Plan

Page 29





Snippet from Freshford and Limpley Stoke NP showing the site is within the northern settlement (shown in pink)

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The site subject of this application

Proposed Site Plan

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Proposed Front and Rear Elevations

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East, Street Elevation
Unit A Unit B

- Materials**
- Rubble stone to front and sides.
 - Through colour render to rear elevation
 - Metal rainwater goods
 - Natural slate roof
 - Painted timber windows
 - Timber front door
 - Timber single storey 'extensions' with shallow metal roofs



West, Rear Elevation
Unit B Unit A

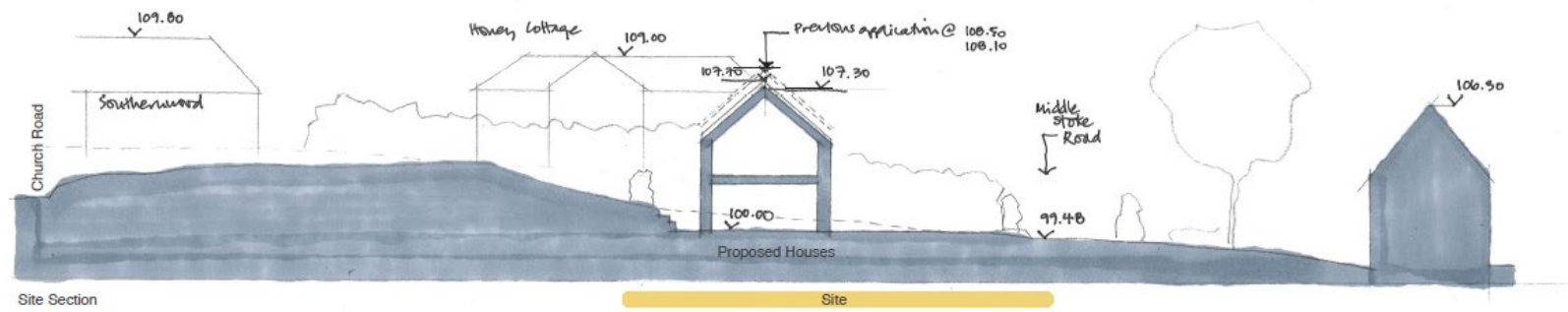


Proposed Side Elevations and Cross Section



0 1 2 3 4 5m 1:100

Page 33



0 2 4 6 8 10m 1:200



Land at Southernwood, Limpley Stoke
 Proposed Long Section and Elevations : North and South

Scale	Issues	Date	Project	Originator	Drawing No	Revision
1:100@A3	DL	March 2020	19071	NP	006	4

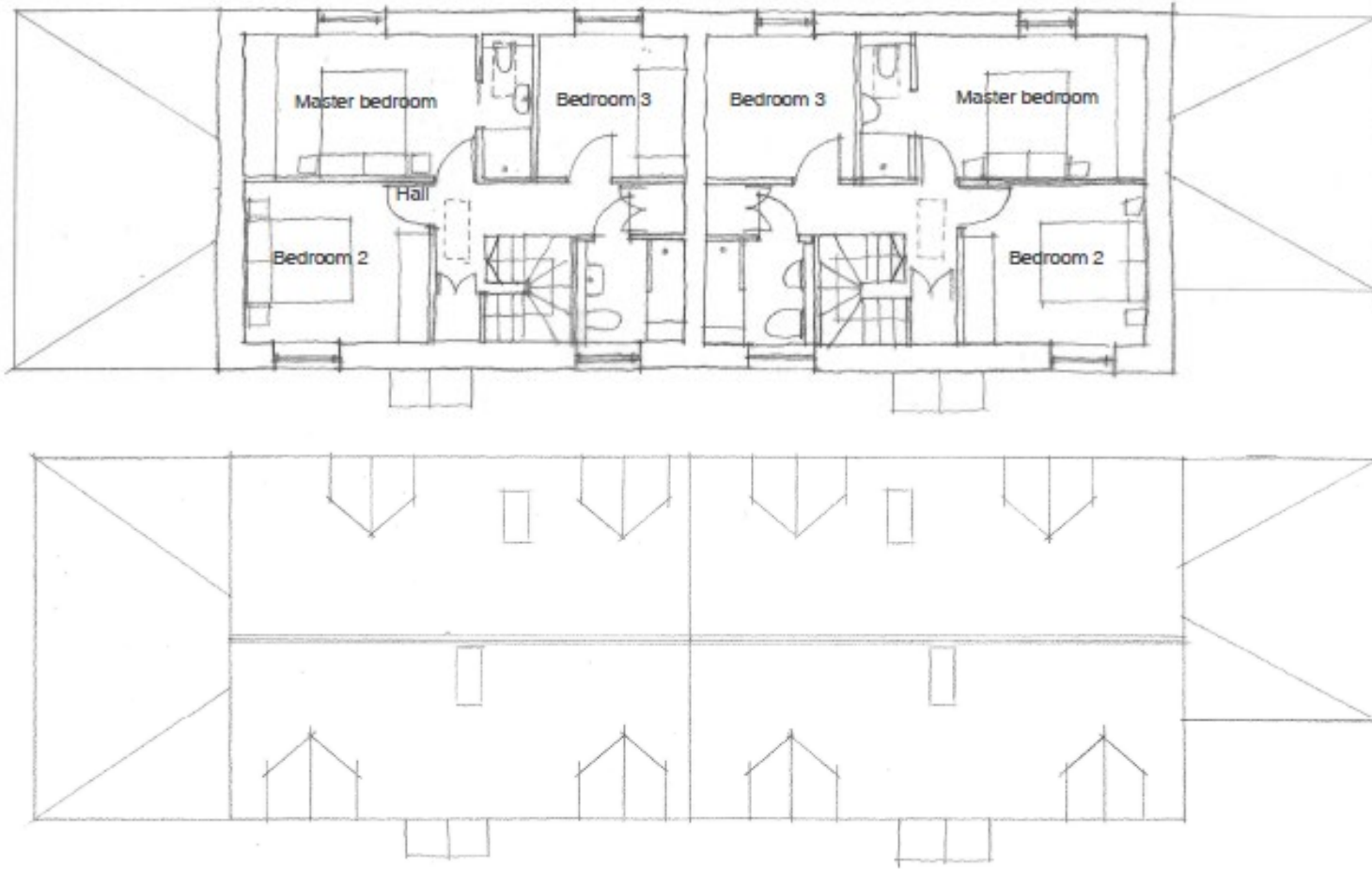
Proposed Ground Floor Plan

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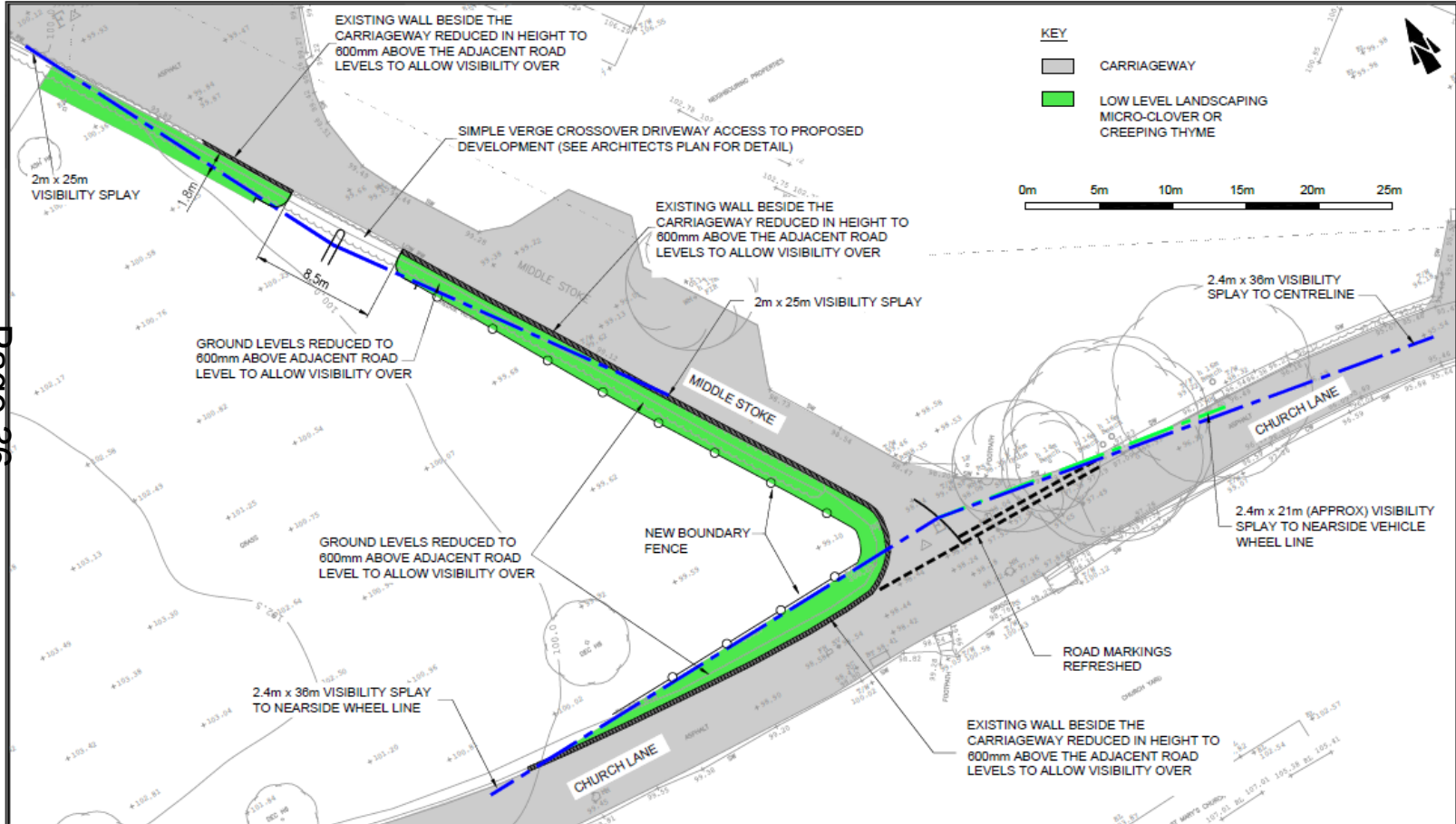


Proposed First Floor and Roof Plans

Page 35



Proposed Junction Improvements Plan



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REV A B Minor amendments Site Access relocated		DRAWN SLW SLW	CHECKED CDM CDM	DATE 21.02.19 15.10.19	NOTES: 1. Do not scale from this drawing. 2. This drawing is for illustrative purposes only and not for construction. 3. This drawing is to be read and printed in colour.	PROJECT: LAND AT SOUTHERNWOOD, LIMPLEY STOKE	CLIENT: MR & MRS HOLDOWAY
PROPOSED JUNCTION IMPROVEMENTS AND ACCESS ARRANGEMENTS							
SCALE: 1:250		DATE: 17.01.2019		REVISION: B	DRAWING NUMBER: 18086-SK01		

NOTE: THE PROPERTY OF THIS DRAWING AND DESIGN IS VESTED IN MILES WHITE TRANSPORT LTD. IT MUST NOT BE COPIED OR REPRODUCED IN ANY WAY WITHOUT THEIR PRIOR WRITTEN CONSENT.

Proposed Landscaping Plan

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Low ground cover plants to be planted through the matting and gravel
Thymus Lamoni variegata
Thymus saphyllum 'Birmingham Pink'
Polygonum affine 'Dartwing Red'
Erodium cicutarium 'Stobor's Form'
Phlox subulata
Dactylis glomerata
 9 cm pots

Ground cover shrubs against a 1.2 m high timber fence
 1 L and 2 L pots 4 plants per square metre
Spiraea Gold Flame
Panicum capense 'Woolwich'
Styracis chinensis 'Aunt May'
Gaillardia 'Rosanna'
Heuchera 'Marmalade'
Heuchera 'Lime Marmalade'
Helichrysum italicum
Stachys lanata

All hedge planting
 50% *Catalpa monogyna* (Flowering)
 10% *Cornus sanguinea* (Dogwood)
 10% *Ligustrum vulgare* (Privet)
 10% *Ilex aquifolium* (Holly)
 10% *Prunus spinosa* (Blackthorn)
 10% *Wiburnum lantana* (Wayfaring Tree)
 60 - 80 cm bare root transplants
 Single row at 222 mm centres

Catalpa bignonioides 'Paula Scarlet'
 Standard tree

Existing metal stile fence repaired and repositioned, set back 2 m into the field to improve vehicle sightlines on the bend

Both *Asparagus* plants (4m) are growing within the existing grass sward on top of the wall at the junction of Church Lane and Middle Sticks. This sward is to be retained and there is no need to lower the wall at this location. Existing fencing is to be removed by hand and set back into the site. Supervised work will ensure impacts to the soil and ground conditions are minimized, protecting the *Asparagus* from accidental harm as far as is reasonably practical.

Proposed Site Sections



Section AA through proposed upper house



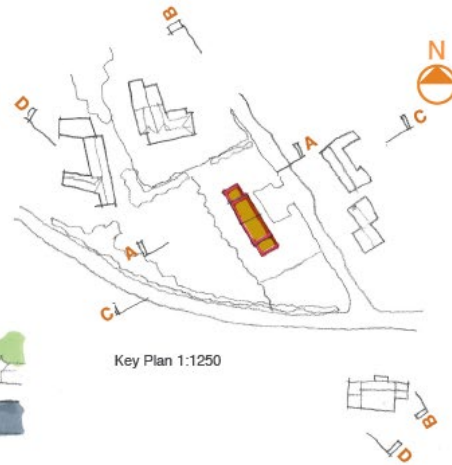
Section BB through Middle Stoke road



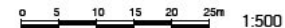
Section CC through lower house



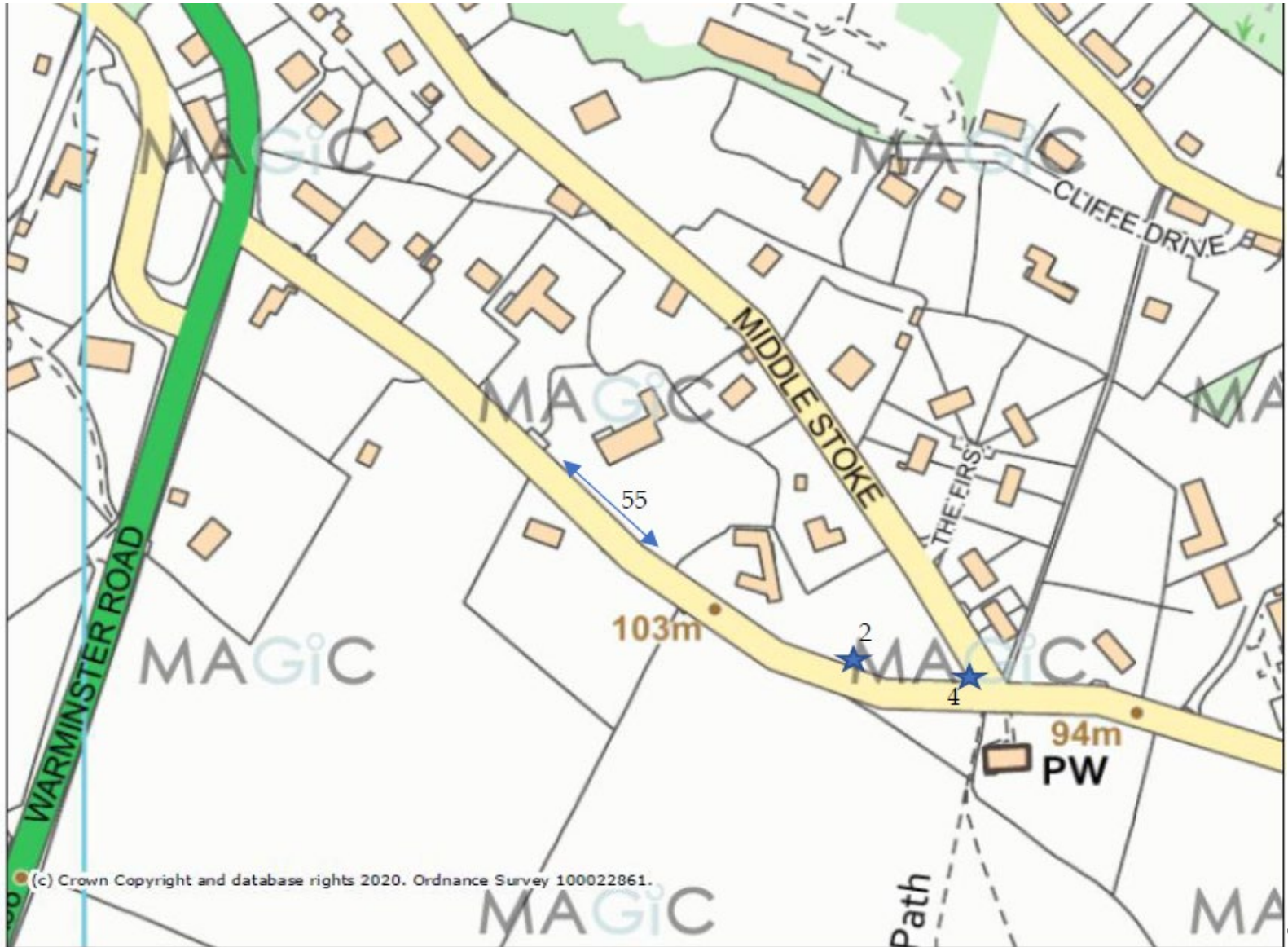
Section DD from the west



Key Plan 1:1250



Plan showing locations of bath asparagus



View of site with The Firs in the background and Honey Cottage to the far left



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View towards the church from within the site



View towards church along Middle Stoke Rd – the site is on right



Existing junction of the Firs and Middle Stoke Road



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Photo taken over the existing hedge showing the distance between Honeywell Cottage and their boundary to the site



The application site as viewed from Church Lane. Honeywell Cottage is to the left and the existing dwellings located along The Firs and Middle Stoke are to the right.



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Middle Stoke Road with existing dwellings set back from the road – application site is beyond the hedge on the left side of the road.



Existing junction of Middle Stoke and Church Lane



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7c) 19/12153/VAR – McDonalds Restaurant – 235 Bradley Road, Trowbridge BA14 0AZ

Variation of Condition 3 of W/96/00587/FUL to modify the opening hours to 06:00 – 23:00 Monday - Saturday

Recommendation: Approve with Conditions

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Site Location Plan



Aerial Photography



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7d) 20/01219/FUL & 20/02055/LBC - Manvers House, 3 Kingston Road Bradford On Avon BA15 1AB
Alterations and extensions to existing office building including erection of mansard roof on north wing to accommodate additional B1 office floor space and the change of use of central building and southern wing from B1 offices to form 2 dwellings (C3).

Recommendation: Approve subject to conditions

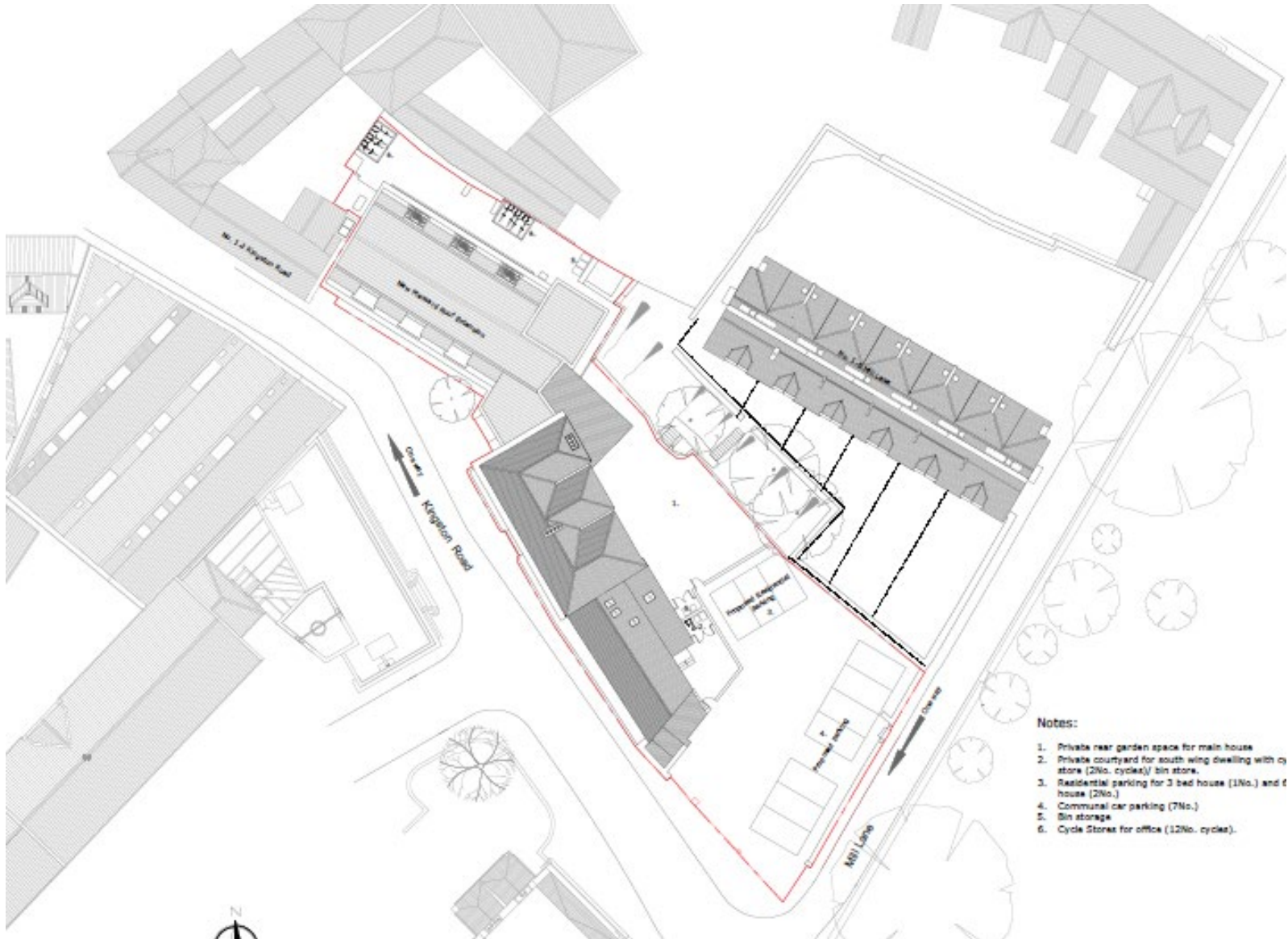


Site Location Plan



Aerial Photography

Proposed Site Plan



Notes:

1. Private rear garden space for main house
2. Private courtyard for south wing dwelling with cycle store (2No. cycles)/ bin store.
3. Residential parking for 3 bed house (1No.) and 4 house (2No.)
4. Communal car parking (7No.)
5. Bin storage
6. Cycle Stores for office (12No. cycles).

Southwest Elevation



Proposed Street Elevation

1:100
Proposed

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Existing Street Elevation

1:100
Existing

Northeast Elevation



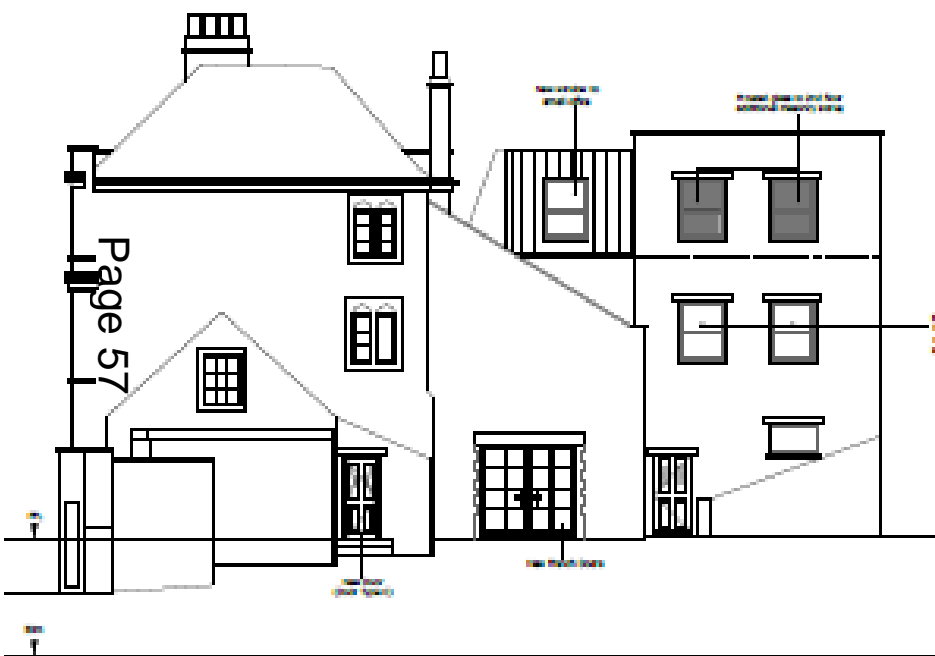
Proposed



Existing

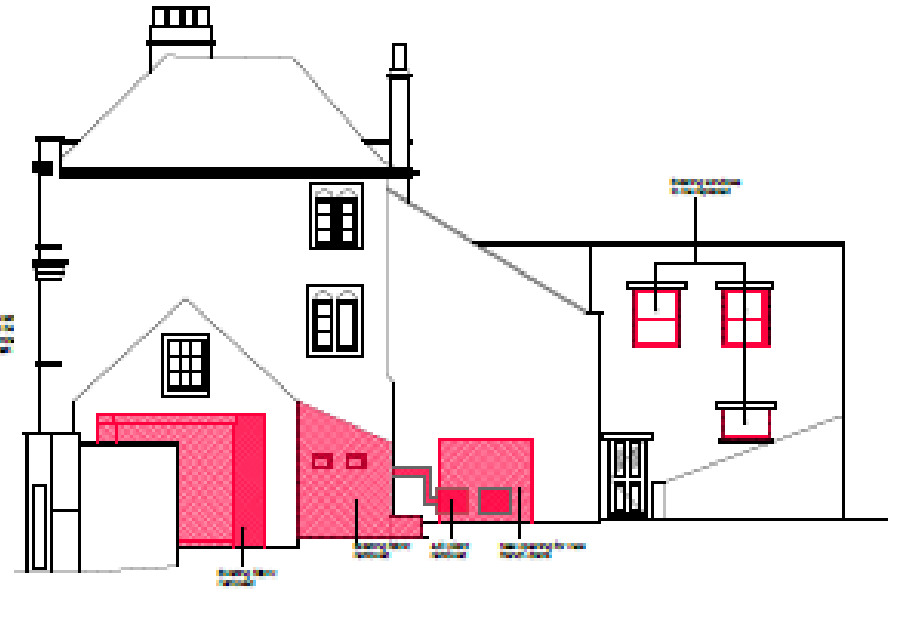
Existing Rear Elevation

Southeast Elevation Proposed and Existing



Proposed SE Elevation

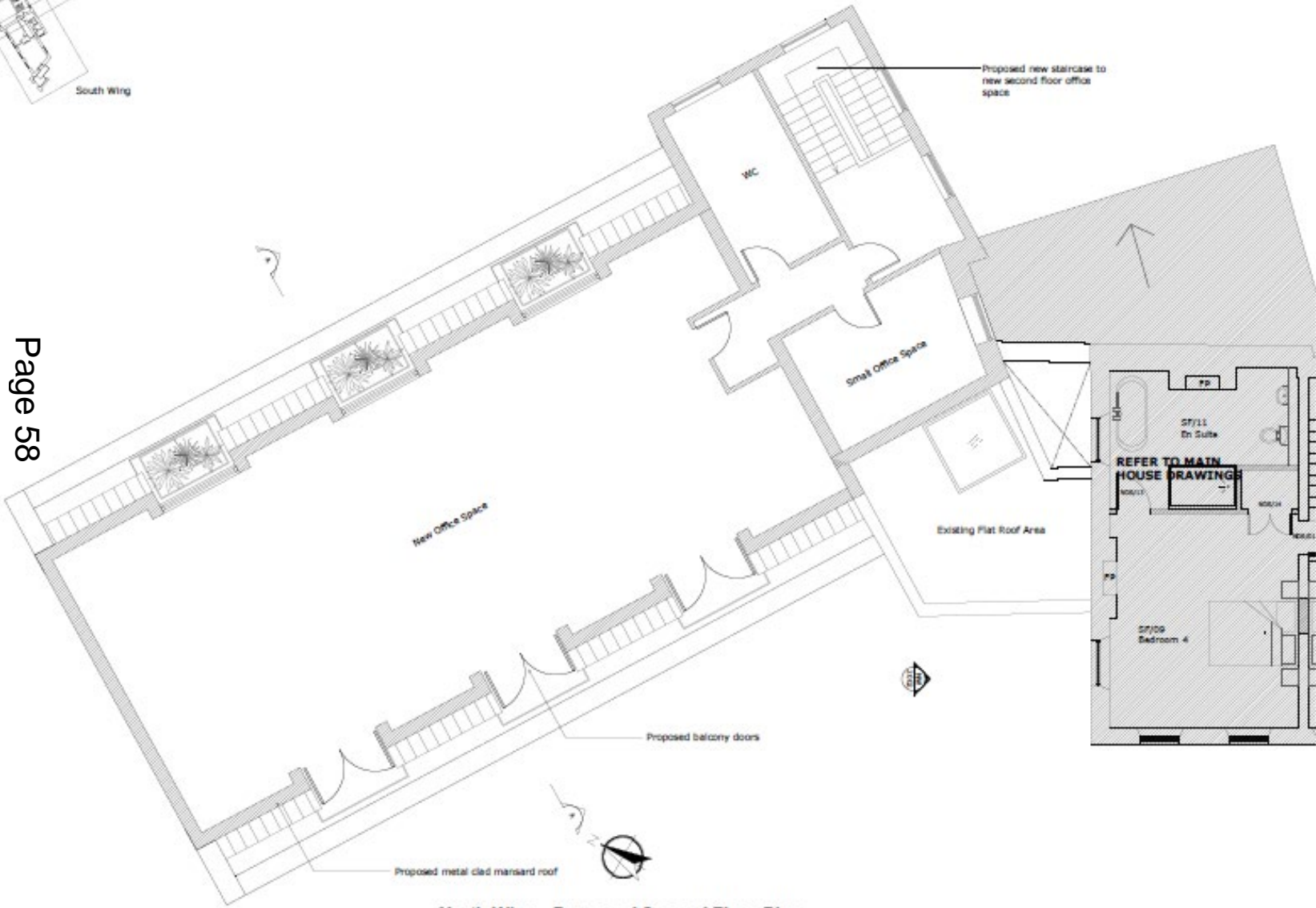
1:100



Existing SE Elevation

1:100

Proposed Plan: New Second Floor to North Block

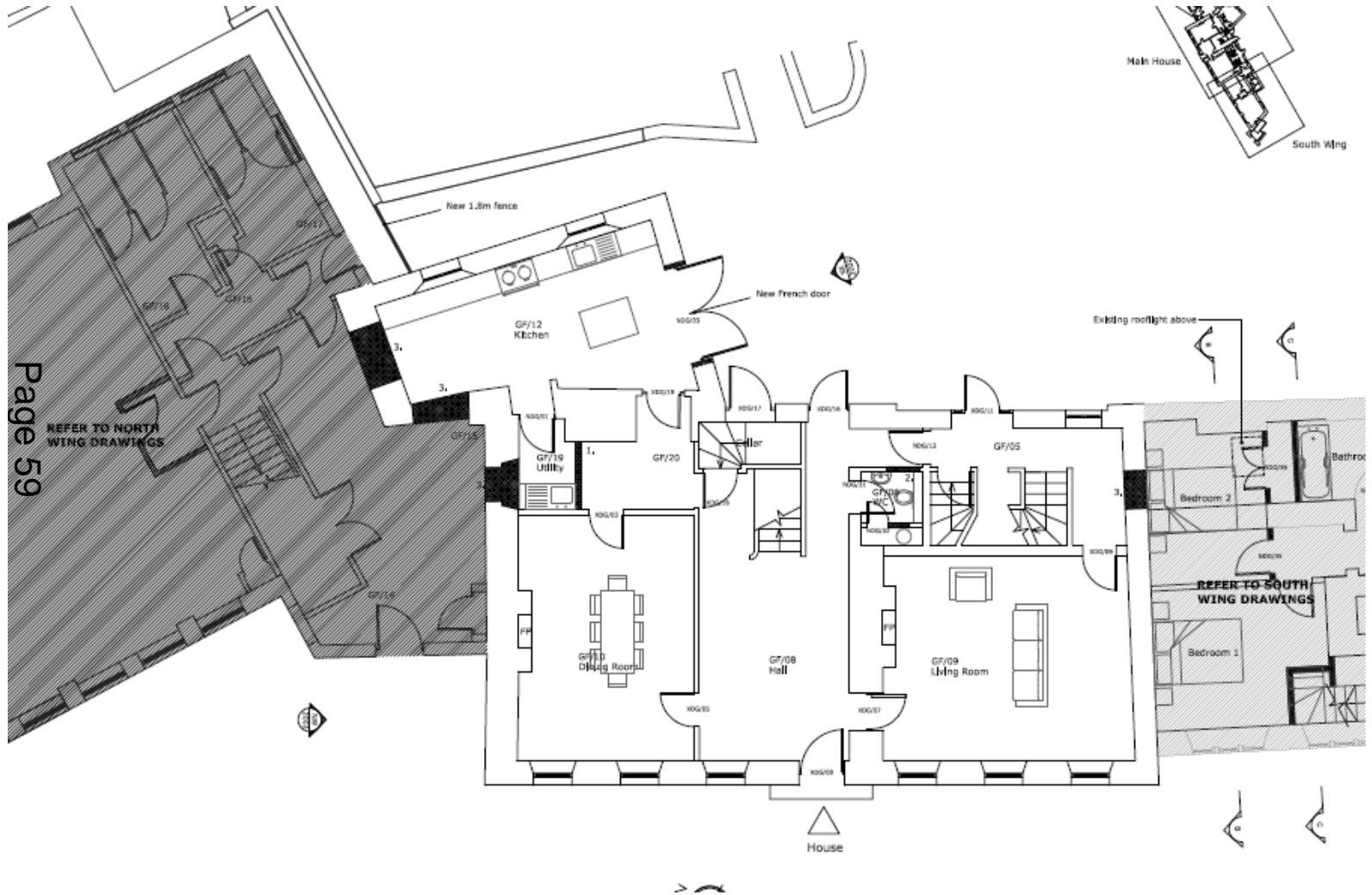


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North Wing - Proposed Second Floor Plan

1:50

Proposed Plan: Ground Floor Main Block

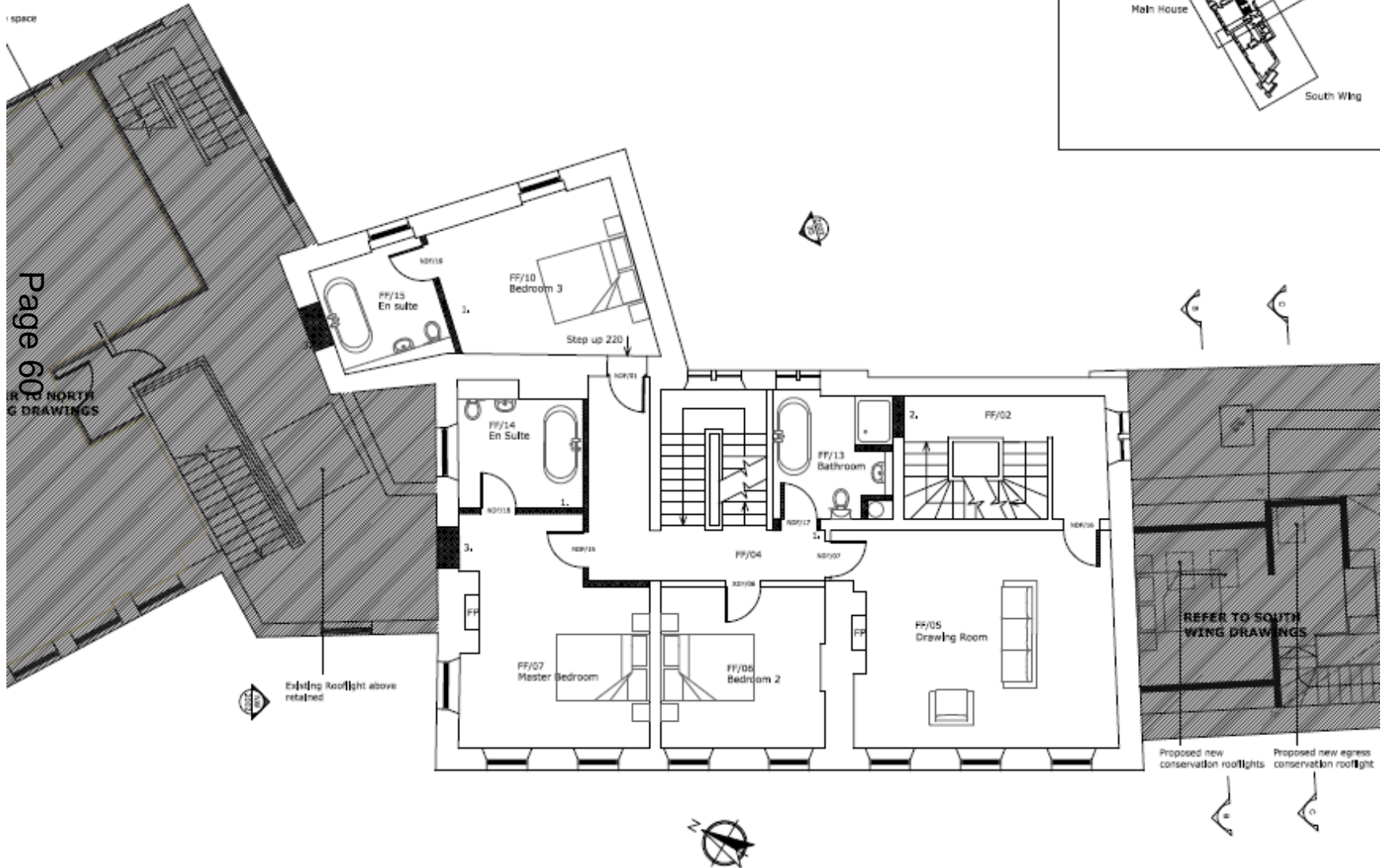


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REFER TO NORTH WING DRAWINGS

REFER TO SOUTH WING DRAWINGS

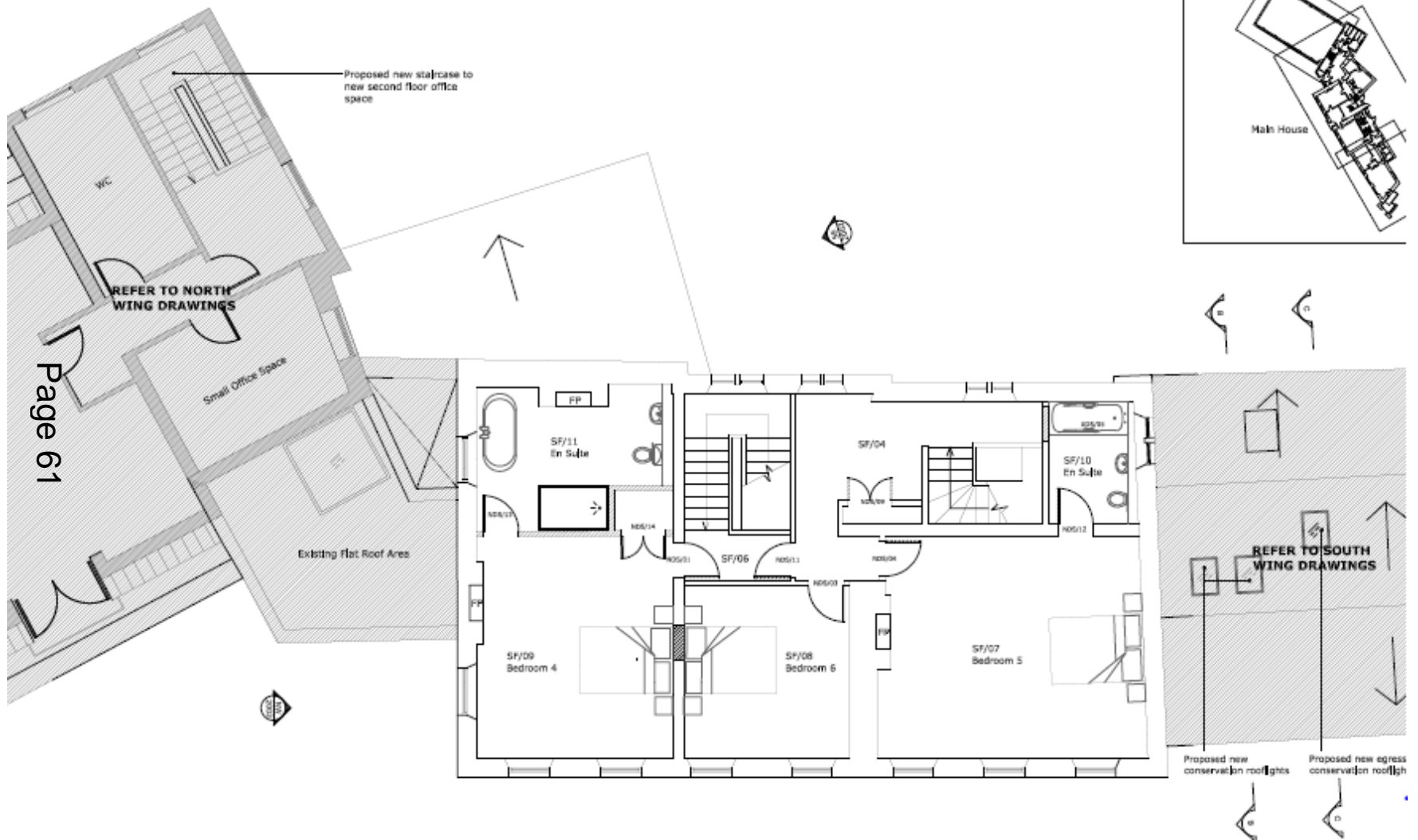
Proposed Plan: First Floor Main Block



Page 60

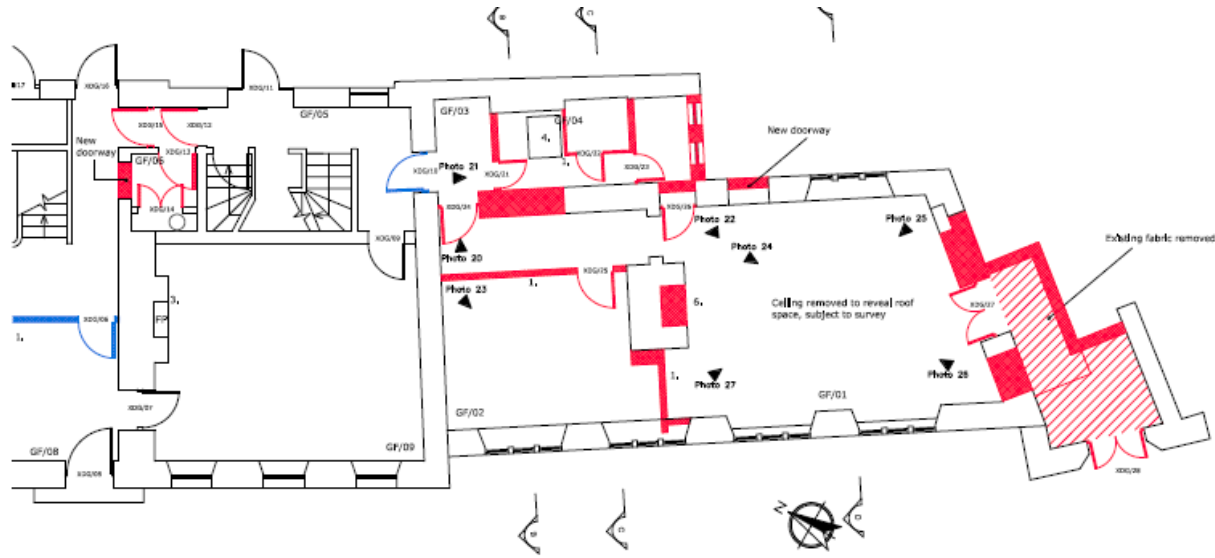
REFER TO NORTH WING DRAWINGS

Proposed Plan: Second Floor Main Block

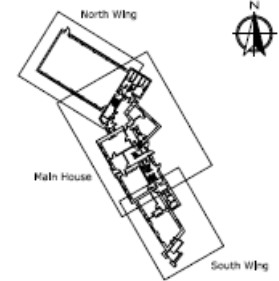


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Proposed Plan: Ground Floor South Wing



South Wing - Existing Ground Floor Plan
1:50

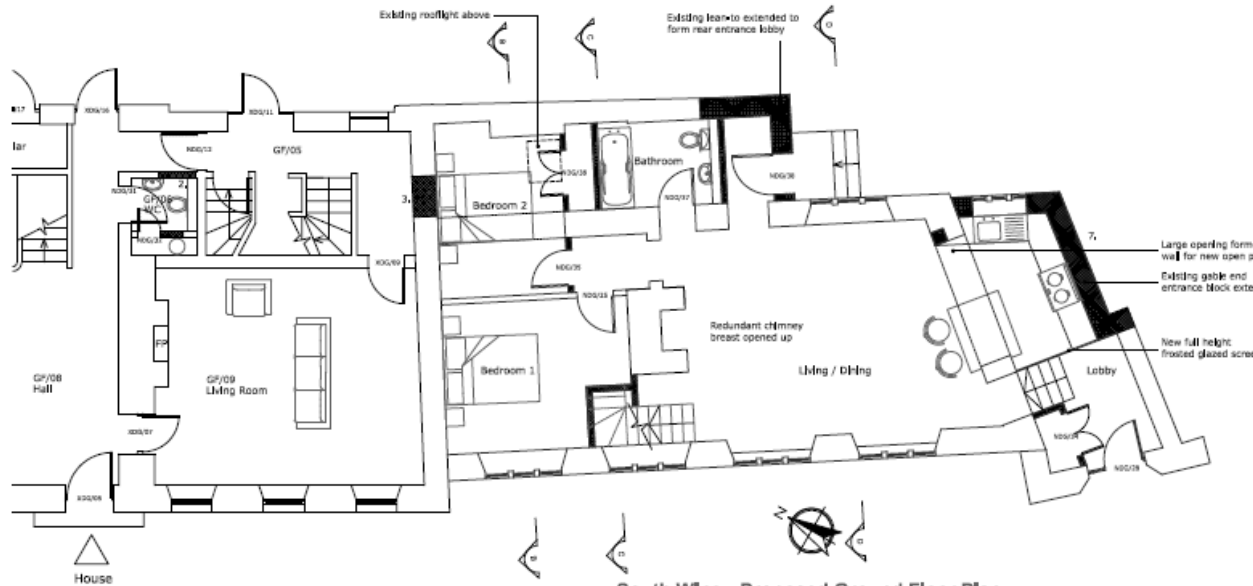


Key:

- Secondary walls removed
- Original Fire place opened up to expose recesses
- Existing Fire place
- Existing door removed
- Existing walls
- Fabric to be removed
- Fabric to be removed + Consented under application 1804559/LBC

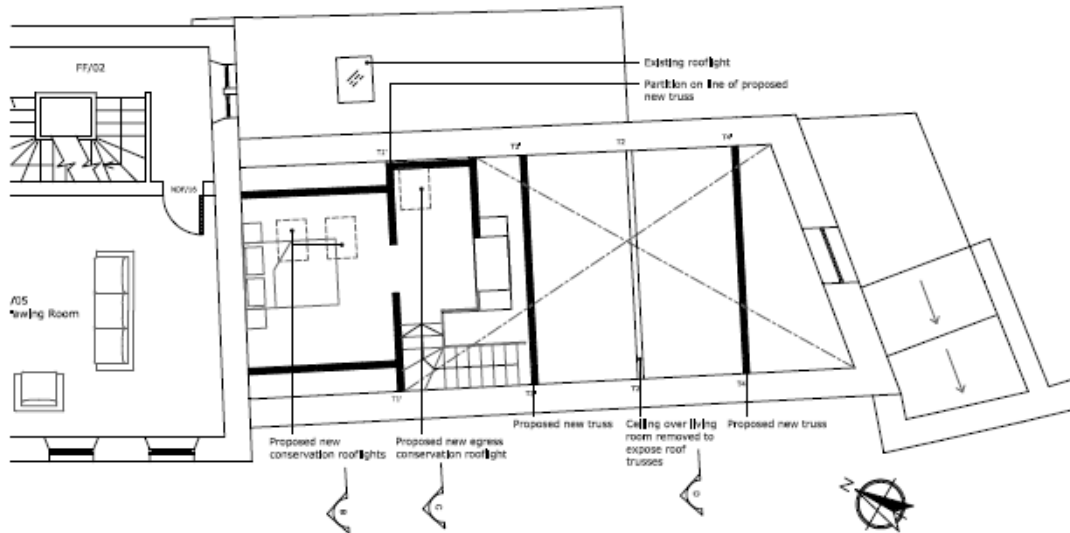
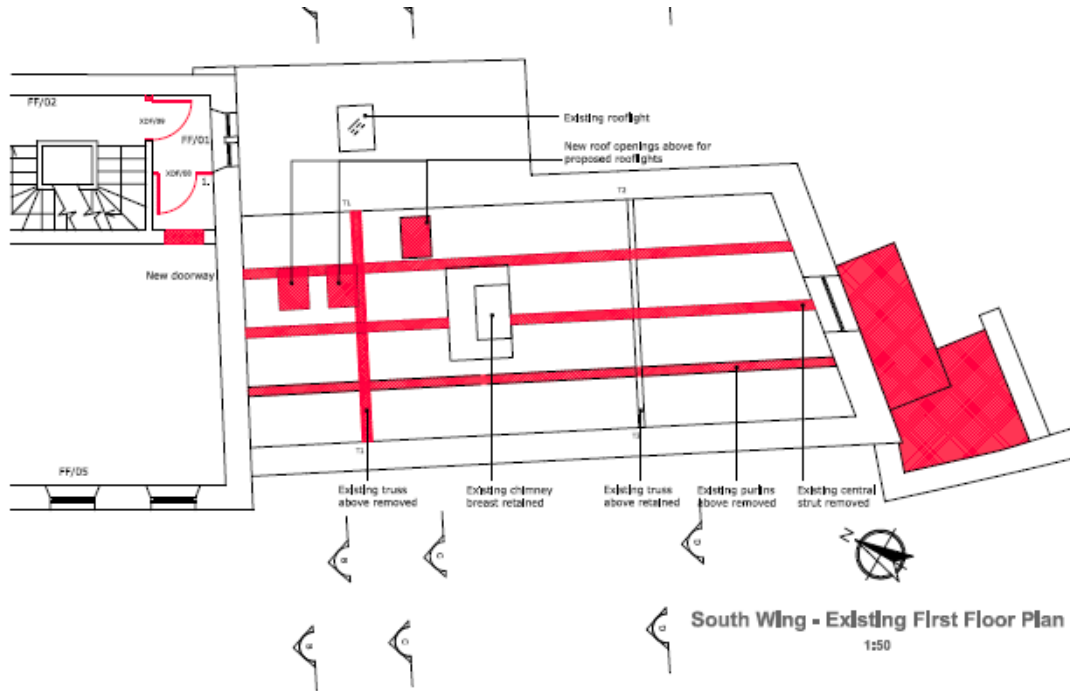
Notes:

1. Existing partitions removed
2. New full height partitions
3. Opening blocked up
4. Rooflight above
5. New masonry wall
6. Fireplace opened up subject to investigations work
7. New masonry wall



South Wing - Proposed Ground Floor Plan
1:50

Proposed Plan: First Floor South Wing



Photos: North Block, Main Block and South Wing of Manvers House viewed from Kingston Road



Photos



Car Park off Kingston Road



Rear of 1-6 Mill Lane

Photos

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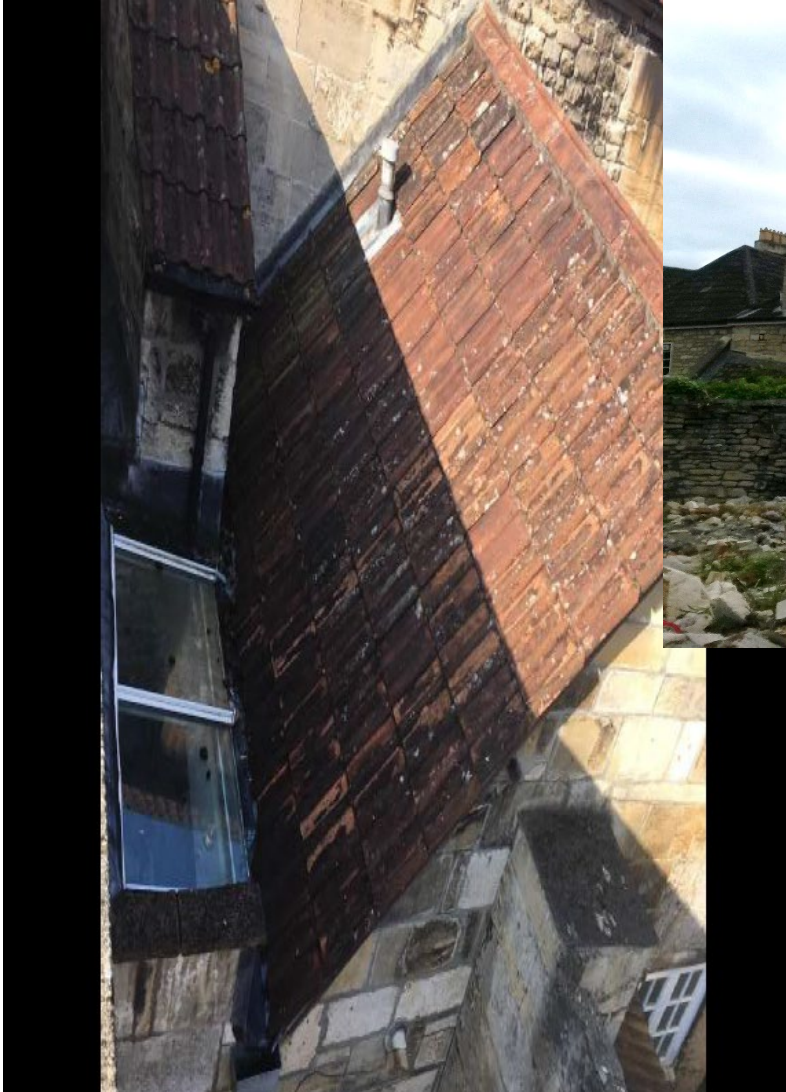


Rear of Manvers House from car park



Rear No. 6 Mill Lane looking towards rear of Main Block and NE elevation

Photos



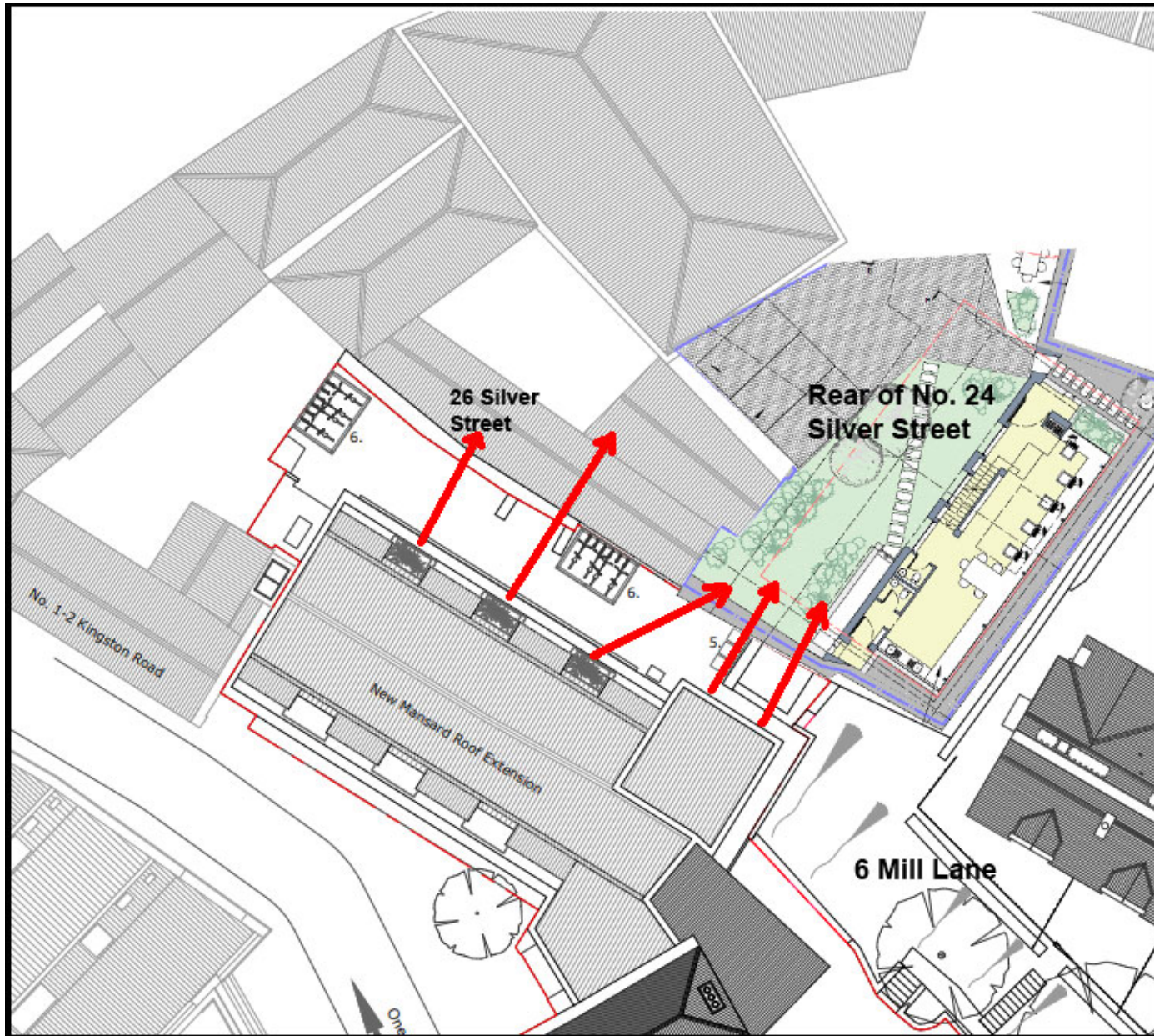
Rear rooflight to 1-2 Kingston Road



View of rear of North Block from No. 24
Silver Street

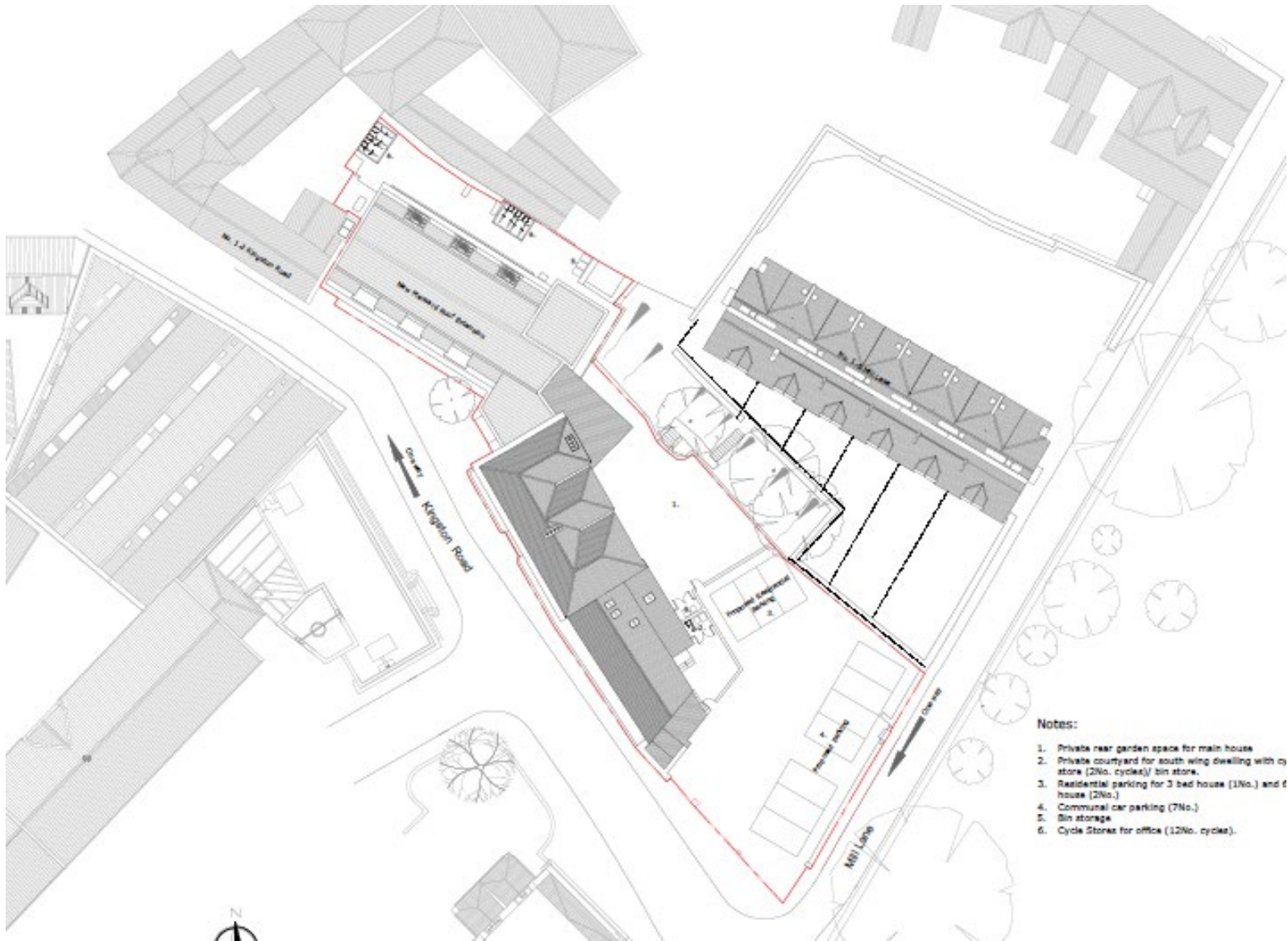
Proposed new roof to North Block and impact on adjacent residents including overlay of development at rear No. 24 Silver Street

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Proposed Site Plan

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Notes:

1. Private rear garden space for main house
2. Private courtyard for south wing dwelling with cycle store (2No. cycles)/ bin store.
3. Residential parking for 3 bed house (1No.) and 4 house (2No.)
4. Communal car parking (7No.)
5. Bin storage
6. Cycle Stores for office (12No. cycles).

Item 7e) 20/03166/FUL - 45 Seymour Road Trowbridge BA14 8LX

Proposed new dwelling

Recommendation: Approve subject to conditions

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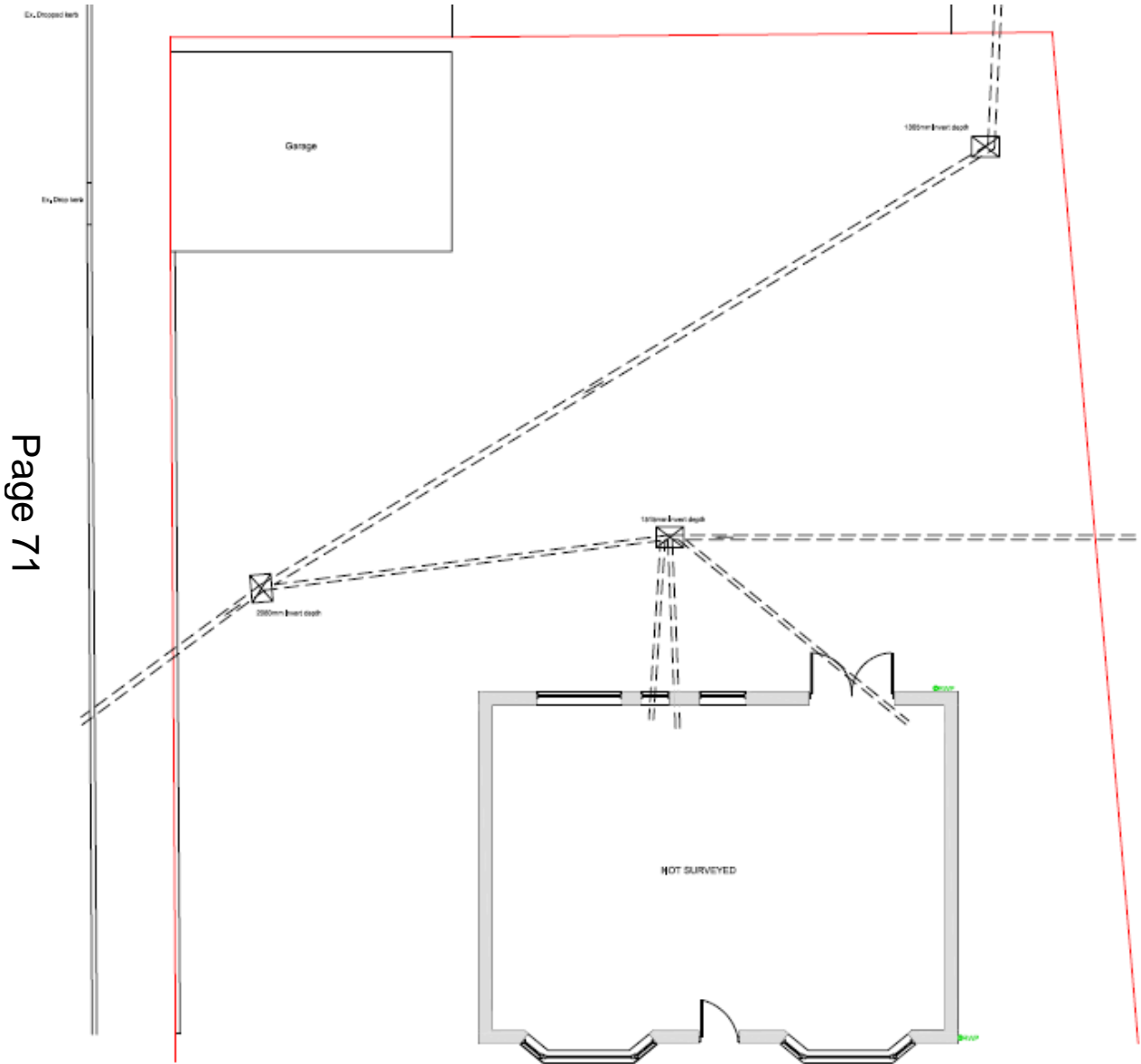


Site Location Plan



Aerial Photography

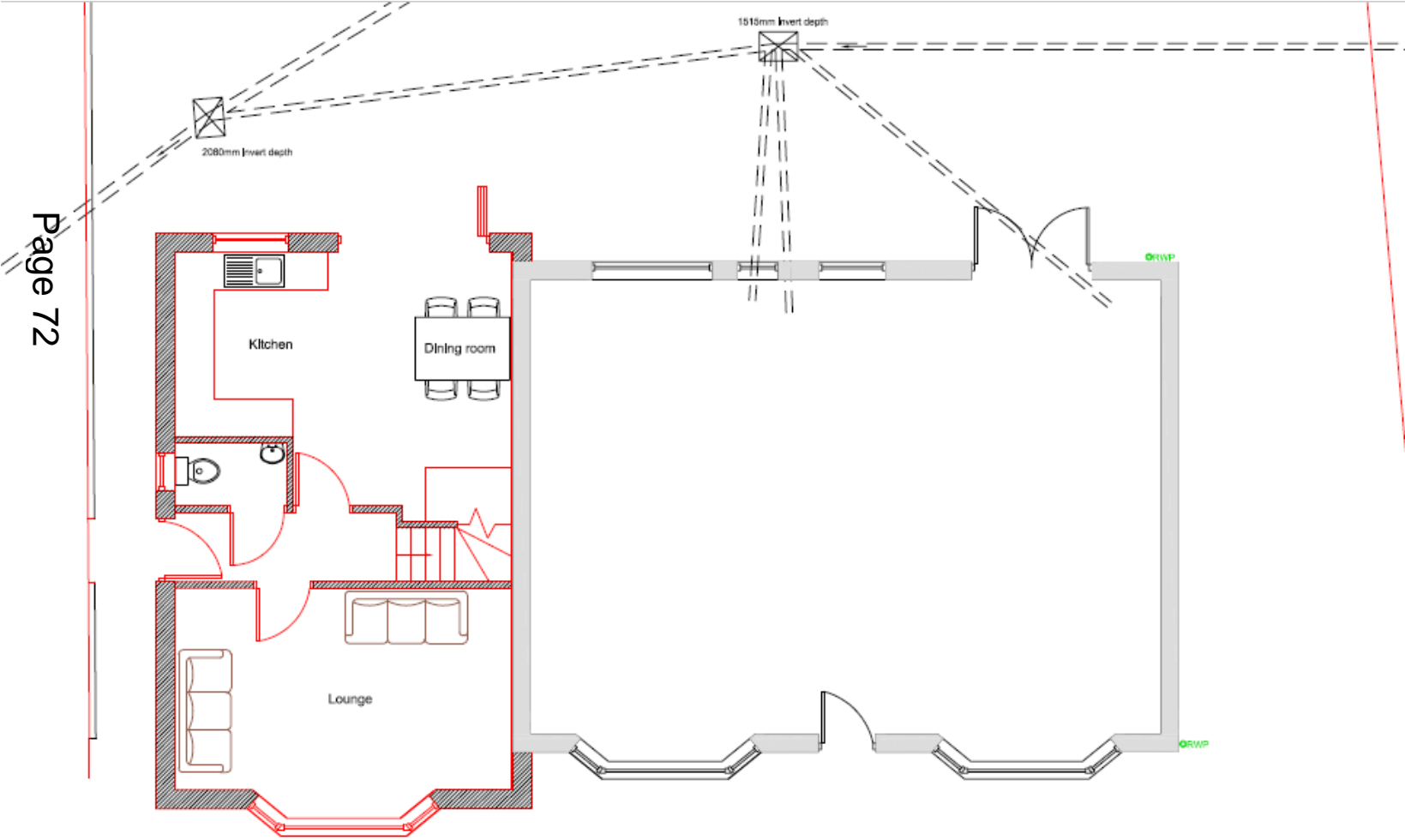
Existing Layout of Site



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Existing Ground Floor Plan 1:80

Proposed Ground Floor Plan



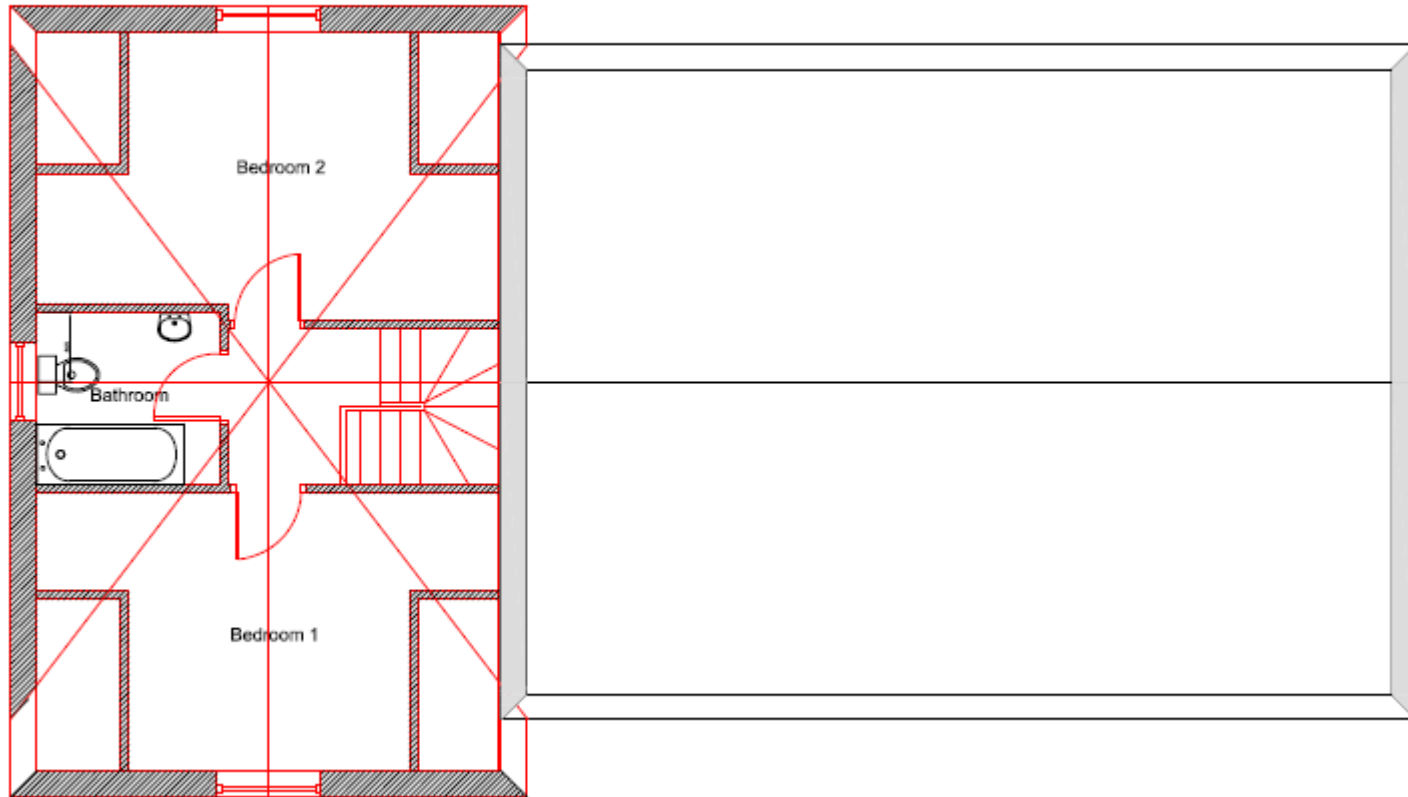
Page 72

Proposed Ground Floor Plan 1:50

0 1 2 3 4 5

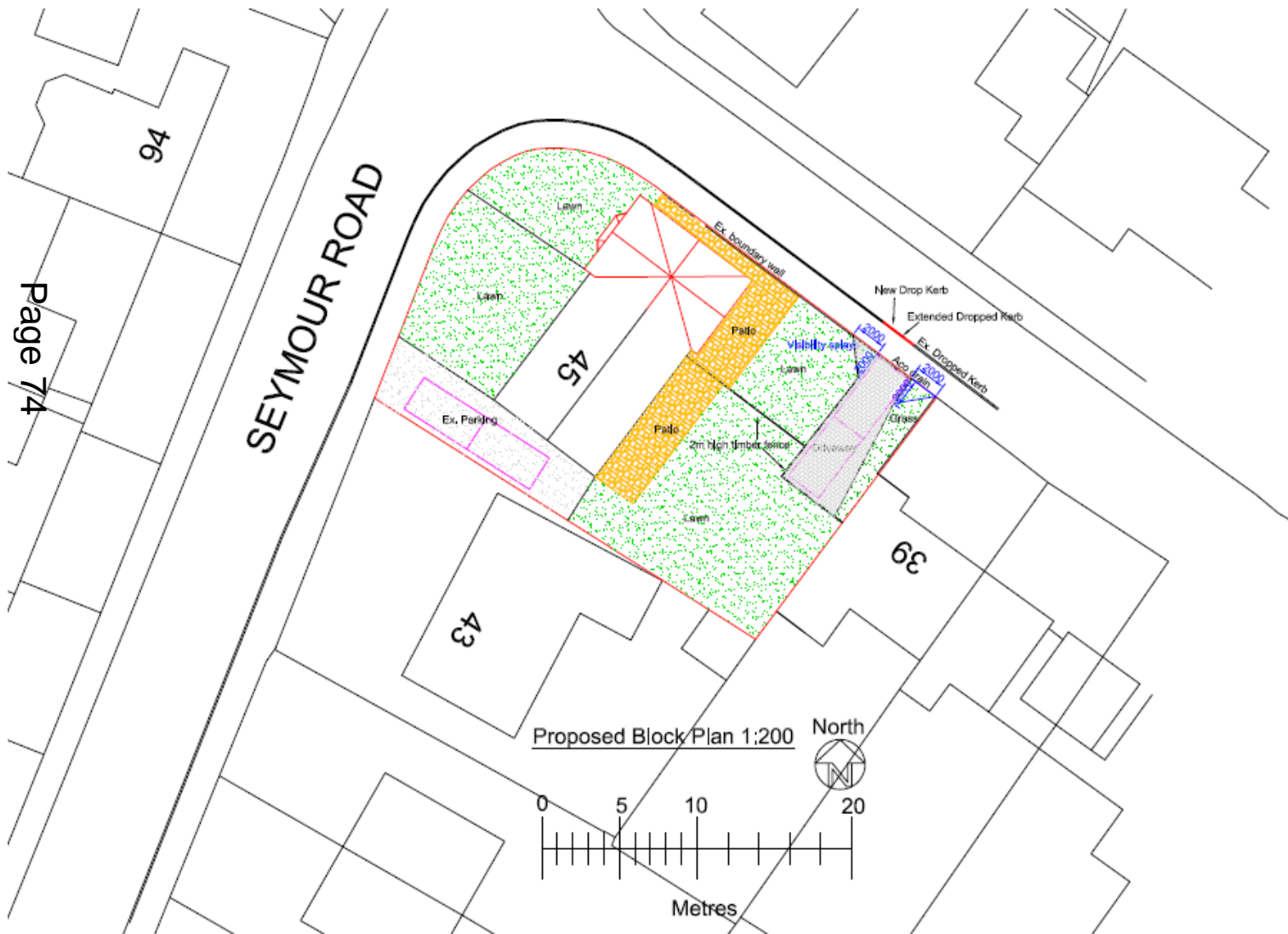
Proposed First Floor Plan

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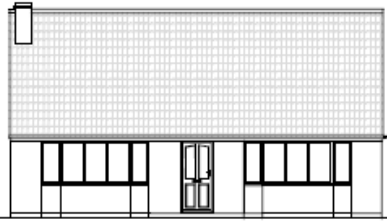


Proposed First Floor Plan 1:50

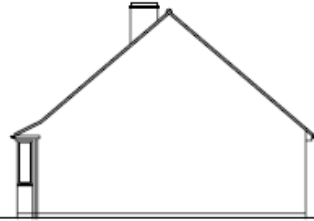
Proposed Block Plan



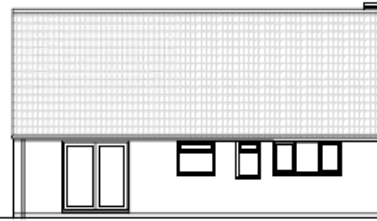
Existing and Proposed Elevations



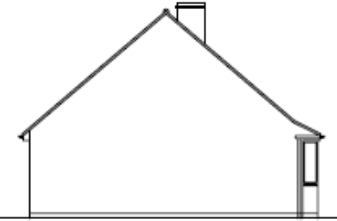
Existing Front (North-West) Elevation 1:100



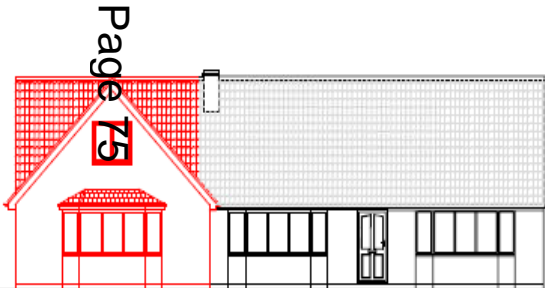
Existing Side (South-West) Elevation 1:100



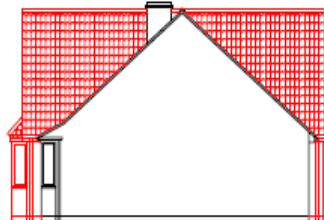
Existing Rear (South-East) Elevation 1:100



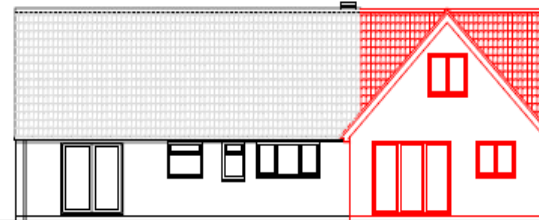
Existing Side (North-East) Elevation 1:100



Proposed Front (North-West) Elevation 1:100



Proposed Side (South-West) Elevation 1:100



Proposed Rear (South-East) Elevation 1:100



Proposed Side (North-East) Elevation 1:100

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Western Area Planning Committee

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